

New Construction For:

# River Breeze Model

27547 Big Bend Road  
Bonita Springs, Florida 34134



**CONSTRUCTION/BID SET  
RELEASE DATE: 08.30.22**

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No:	REVISIONS
1	
2	
3	

**River Breeze Model**  
27547 Big Bend Road,  
Bonita Springs, Florida 34134

**New Era Construction LLC**  
Service & Quality You Deserve  
2400 Davis Blvd., Naples, FL 34104  
Office: 239.424.0303 Fax: 239.424.0412  
General Contractor CQC 1513128 Home Inspector HI6061

5052 Old Buncombe Rd.  
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PH: (239) 304-3041

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ISAIAH DUNLAP  
REG. # 101410

JOB: L22050  
DATE: 05.19.2020  
CAD REF: CD 100%

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**A-0**

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AREA SUMMARY	
SQUARE FOOTAGE	
GARAGE FL. A/C	311 S.F.
1ST FL. LIVING A/C	1,972 S.F.
2ND FL. LIVING A/C	1,319 S.F.
TOTAL A/C	3,602 S.F.
COVERED ENTRY	
1ST FLOOR COVERED LANAI	382 S.F.
2ND FLOOR COVERED LANAI	275 S.F.
SUN DECK	396 S.F.
2 CAR GARAGE	1,806 S.F.
POOL DECK	583 S.F.
TOTAL NON-A/C	3,493 S.F.
GRAND TOTAL	7,095 S.F.

PERVIOUS/ IMPERVIOUS CALCS.	
SITE AREA	6,687 S.F. (100%)
HARDSCAPE TAKE-OFFS (IMPERVIOUS)	
BLDG. COVERAGE	2,553 S.F.
POOL EQUIP. PAD	INCLUDED S.F.
A/C EQUIP. PAD	INCLUDED S.F.
TOTAL IMPERVIOUS =	2,550 S.F. (38%)
TOTAL LOT SIZE =	6,687 S.F. (100%)
TOTAL BLDG. FOOTPRINT =	2,550 S.F. (38%)
TOTAL LOT COVERAGE =	2,550 S.F. (38%)
TOTAL LOT PERVIOUS =	4,137 S.F. (62%)

PROJECT DATA	
OCCUPANCY TYPE	RESIDENTIAL
CODE REFERENCE	2020 FBC 7TH Edition
FLOOD ZONE	ZONE AE-EL11
CONSTRUCTION TYPE	TYPE "V"
FINISHED LIVING FLOOR LEVEL	AE ELEV. = 15.67' N.A.V.D.
PROPOSED HEIGHT	30'-0" ABOVE F.F.
NO. OF STORIES	2
AVERAGE CROWN OF ROAD	2.55' NAVD
DESIGNED FOR APPLICABLE WIND LOAD	171 MPH
COMPLIANCE STATEMENT	
PLANS HAVE BEEN PREPARED IN COMPLIANCE WITH THE 2020 FLORIDA BUILDING CODE 7TH EDITION	

LOT COVERAGE DETAILS	
TOTAL BUILDING FOOTPRINT ELEMENTS	
GARAGE FL. A/C	311 S.F.
COVERED ENTRY	51 S.F.
1ST FLOOR COVERED LANAI	382 S.F.
2 CAR GARAGE	1,806 S.F.
GRAND TOTAL	2,550 S.F.

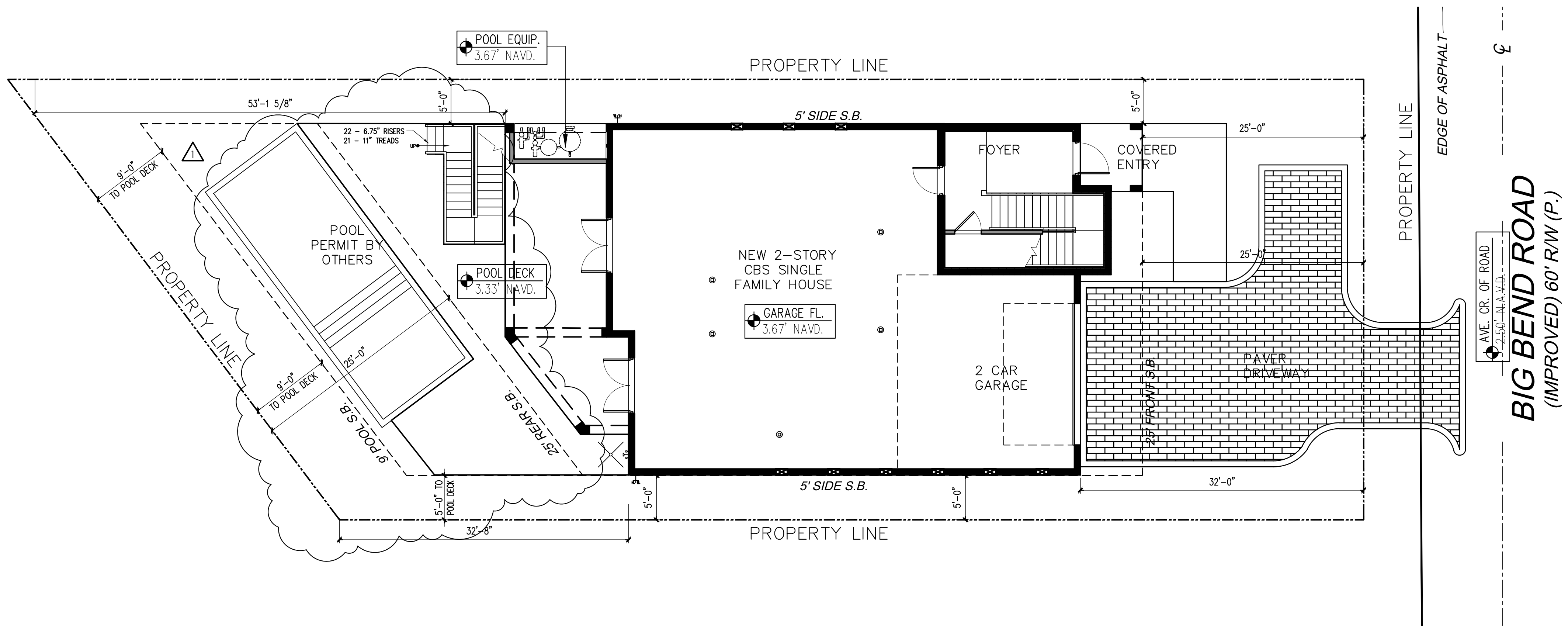
LEGAL DESCRIPTION	
MAP OF BOUNDARY SURVEY FOR LOT 42, TARPON BEND SUBDIVISION, BONITA SPRINGS, LEE COUNTY FLORIDA.	
CONTRACTOR AND SURVEYOR TO VERIFY SETBACKS AND PLACEMENT OF HOUSE ON SITE PRIOR TO CONSTRUCTION.	

**GENERAL NOTES**

- THE CONTRACTOR SHALL VERIFY THE SITE LAYOUT AND NOTIFY THE DESIGNER OF ANY DISCREPANCIES BEFORE CONSTRUCTION.
- THE CONTRACTOR SHALL PROVIDE CONDUIT UNDER PAVED AREAS FOR IRRIGATION, TELEPHONE, TV AND GAS AS REQUIRED.
- REFER TO LANDSCAPE PLAN FOR GRADING AND WATER RUNOFF INFORMATION.
- REFER TO LANDSCAPE DRAWINGS FOR DETAILS INFORMATION ON POOL DECK, WALKWAYS AND DRIVEWAYS.
- SURVEY WAS PROVIDED BY OWNER AND PREPARED BY:

**OnLineLand, Surveyors, Inc.**  
15271 NW 60 AVE, Suite 206  
Miami Lakes, FL 33014

DRAWINGS LIST	
A-0	COVERSHEET
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A-15.3	ELEVATIONS
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A-20	DETAILS
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E-2	FIRST FLOOR ELECTRICAL PLAN
E-3	SECOND FLOOR ELECTRICAL PLAN
E-4	RISER DIAGRAM
E-5	ELECTRICAL NOTES



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SITE PLAN  
SCALE: 1/8" = 1'-0"

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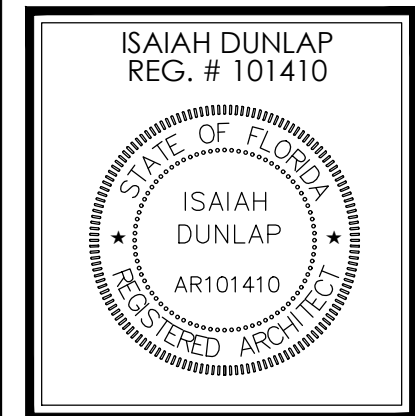
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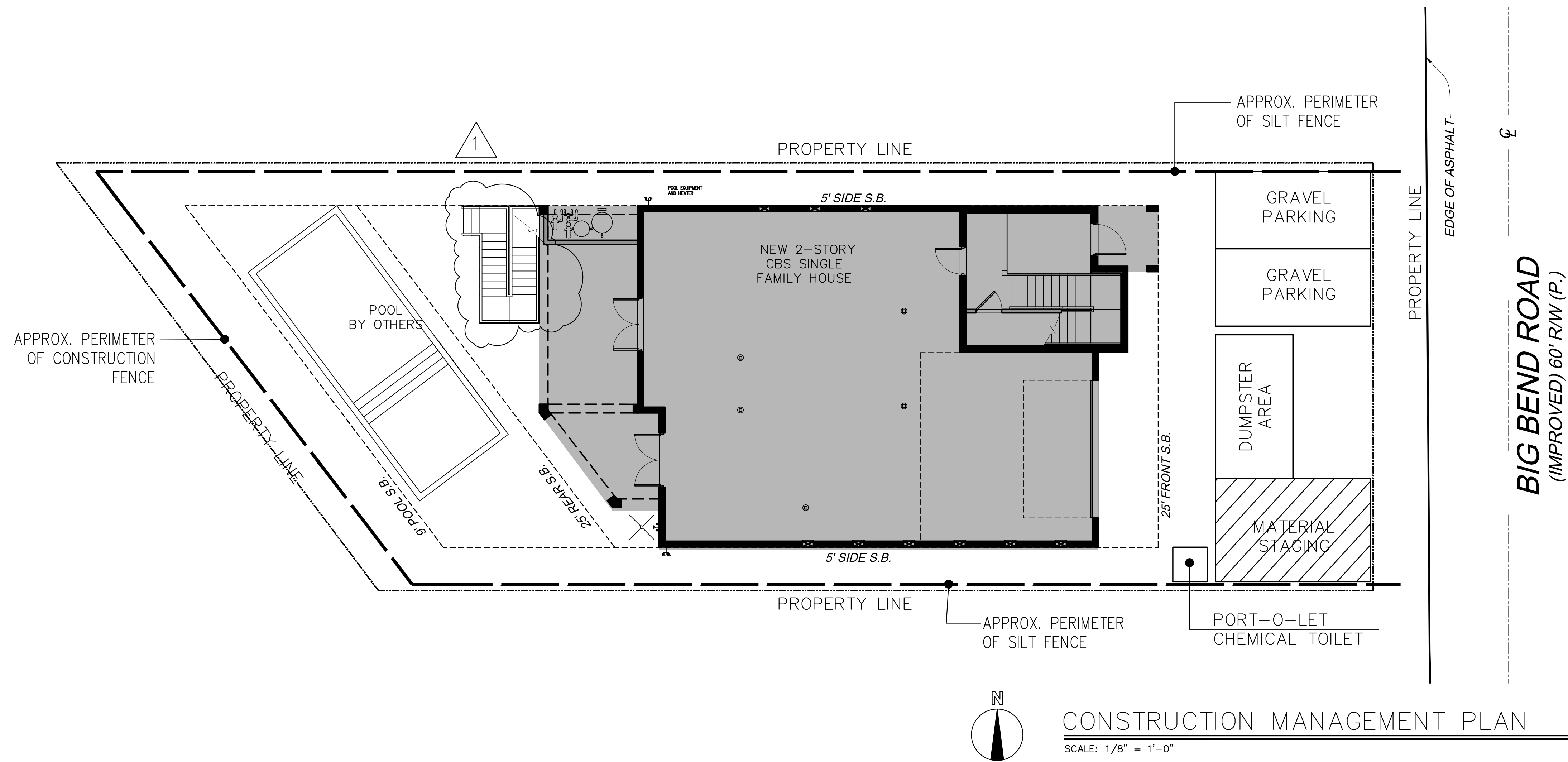
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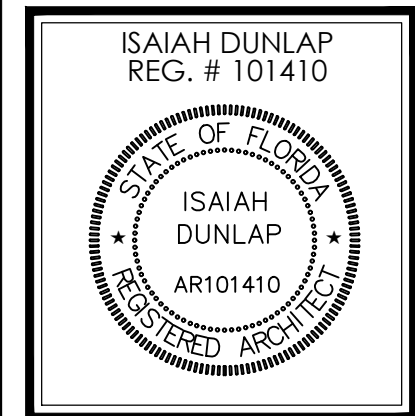
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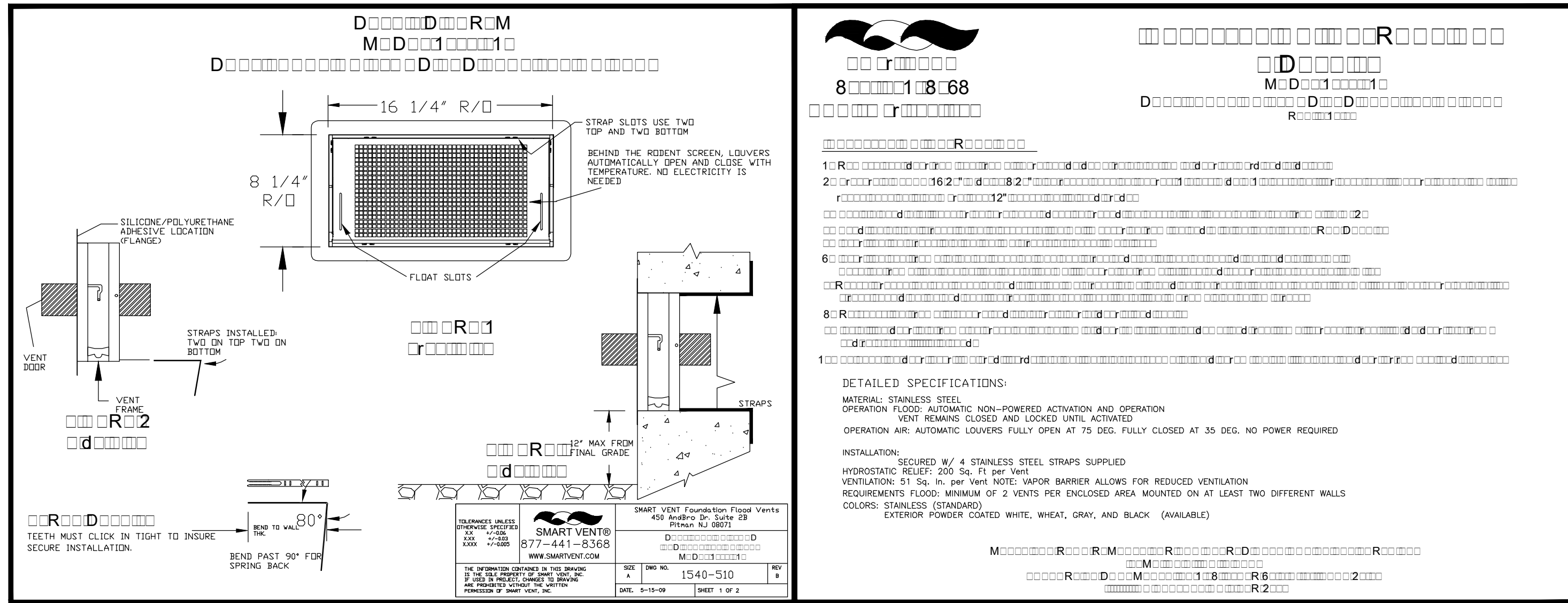
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**GENERAL NOTES**

THE CONTRACTOR SHALL USE SMART VENT FLOOD VENTS OR SIMILAR. CONTRACTOR TO PROVIDE ALL NECESSARY DOCUMENTATION FOR PERMITTING FLOOD VENTS



1540-510 Dual Function SMART VENT<sup>®</sup>, 16" wide x 8" tall  
 200 sq/ft of flood venting coverage per vent

51 net sq/in for natural air ventilation

Standard Finish:  
 Stainless Steel

Available Powder Coat Colors:  
 White, Wheat, Gray, and Black

The SMART VENT<sup>®</sup> model is certified to provide flood protection and natural air ventilation. This model is used for a home with a crawl space or any enclosed area that desires natural air ventilation and flood protection. The all stainless steel design insures product sustainability. How it works:

**Flood Protection:**  
 The SMART VENT<sup>®</sup> door is latched closed until it comes in contact with flood water. Entering flood water lifts the patented internal floats which unlatch and allow the door to rotate open. This allows the flood water to automatically enter and exit through the frame opening, relieving the pressure from the foundation walls.

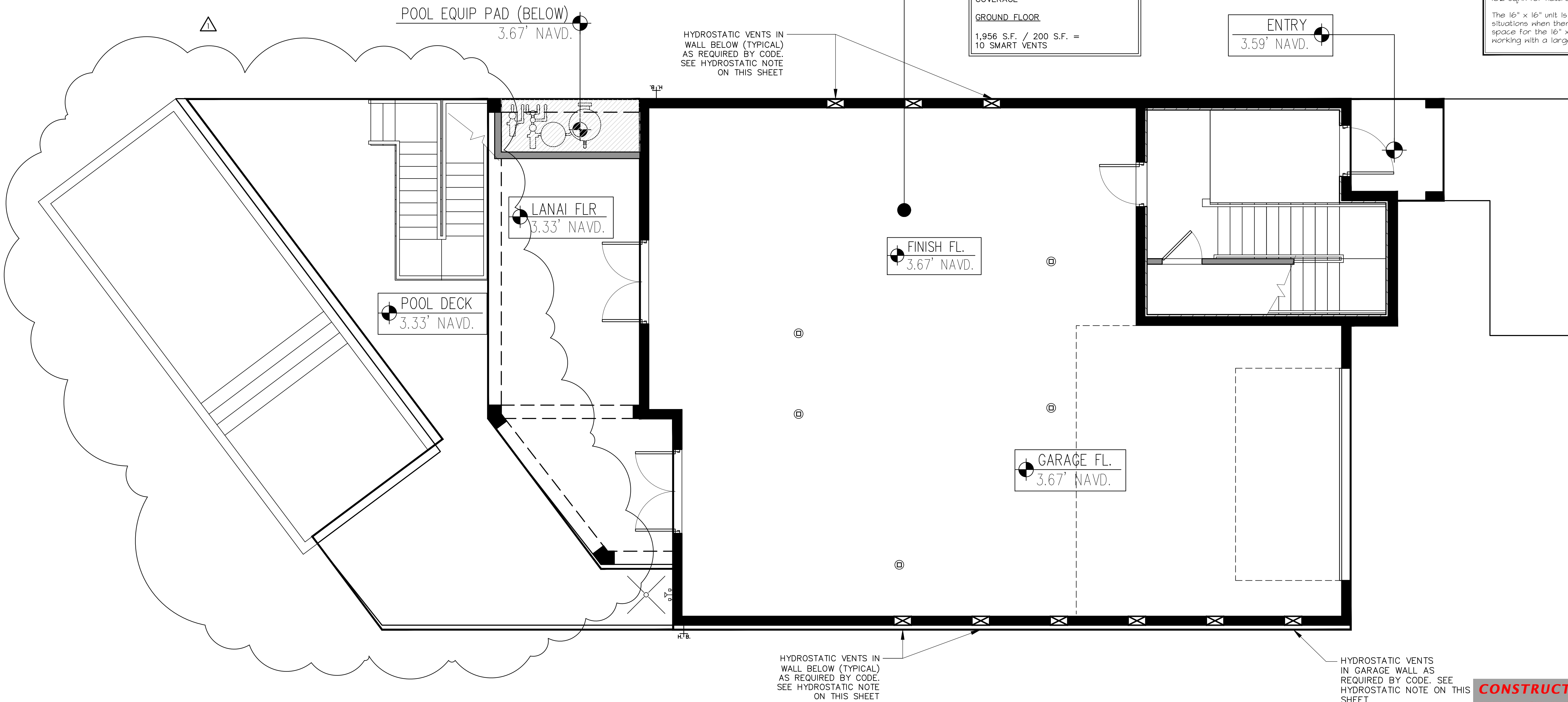
**Ventilation:**  
 A bimetal coil automatically opens and closes the ventilation louvers as temperature changes. No electricity is required. The louvers will be fully closed at 35° and fully opened at 75°. Regardless of the louvers' position, opened or closed, in the event of a flood, the internal floats lift to release the flood door to rotate open and relieve the hydrostatic pressure.

Additional sizes available:  
 1540-511 Dual Function STACKED, 16" wide x 16" tall Certified to cover 400 sq/ft of enclosed area for flood protection and 102 sq/in for natural air ventilation.

The 16" x 16" unit is an excellent option for situations when there is not adequate wall space for the 16" x 8" size or if you are working with a larger enclosed area.

**SMART VENT CALCULATION:**  
 1540-510 Dual Function SMART VENT  
 (1) 8" H X 16" W SMART VENT  
 ALLOWS 200 S.F. OF FLOOD VENTING COVERAGE

**GROUND FLOOR**  
 1,956 S.F. / 200 S.F. =  
 10 SMART VENTS



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**FLOOD VENTS PLAN**  
 SCALE: 1/4" = 1'-0"

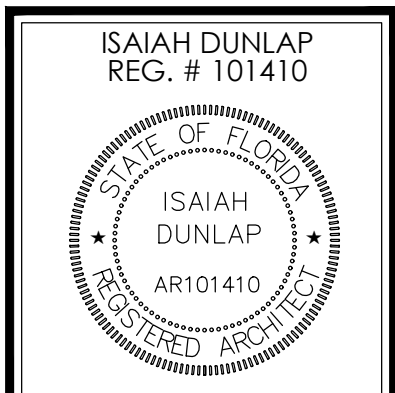
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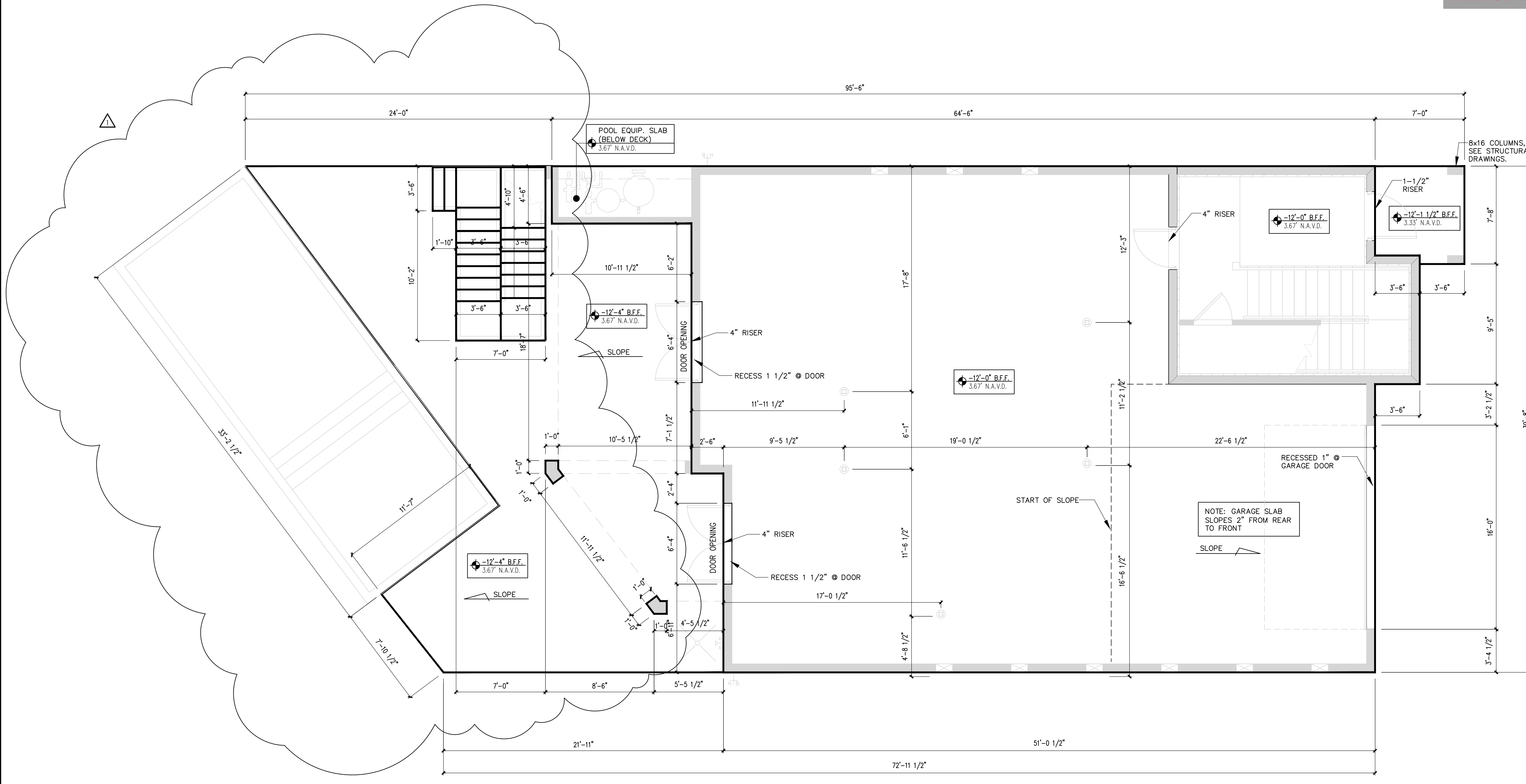


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**GARAGE FLOOR SLAB PLAN**

SCALE: 1/4" = 1'-0"

FOUNDATION TO BE ENGINEERED

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NOTE: SLAB TO BE TERMITE PROTECTED PER 2020 FBC-RESIDENTIAL 7TH Edition  
SEE ENGINEER'S STRUCTURAL DRAWINGS FOR ALL SLAB FOOTING, COLUMN & POST DETAILS  
VERT. REINF. IN CONC. BLK. WALLS BY ENGINEER  
BUILDER TO VERIFY RECESS DIMENSIONS FOR EXT. DOORS W/ MANUF.

NOTE: ALL STAIR RISERS, TREADS, BEAM HEIGHTS, AND DIMENSIONS TO BE COORDINATED WITH ENGINEERED DRAWINGS. ALL ENGINEERING AS WELL AS ANY DISCREPANCIES SHALL BE BROUGHT TO DON STEVENSON DESIGN FOR REVIEW PRIOR TO CONSTRUCTION.  
TREADS AND RISERS MAY VARY DUE TO FIELD CONDITIONS. BUILDER TO VERIFY ALL EXTERIOR STAIR WITH SITE CONDITIONS BEFORE CONSTRUCTION.  
SLAB PLAN IS FOR DESIGN PURPOSE ONLY, SEE STRUCTURAL ENGINEERING DRAWINGS

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MikeWhalen37.com  
Call: 239.825.4203

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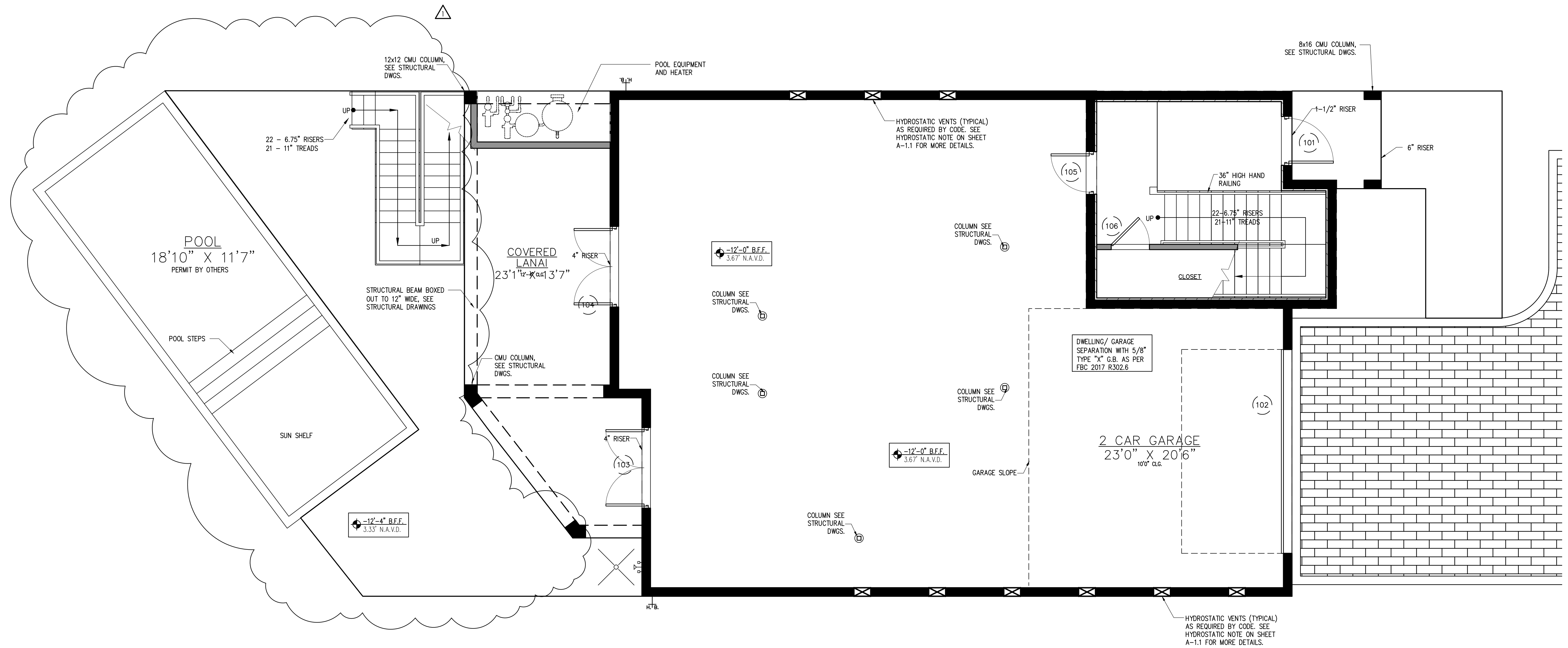
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A-2**

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**GARAGE FLOOR NOTES PLAN**

SCALE: 1/4" = 1'-0"

<p><b>NOTE:</b> SLAB TO BE TERMITE PROTECTED PER 2020 FBC - 7th EDITION.          SEE ENGINEER'S STRUCTURAL DRAWINGS FOR ALL SLAB FOOTING, COLUMN &amp; POST DETAILS          BUILDER TO VERIFY RECESS DIMENSIONS FOR EXT. DOORS W/ MANUF.</p>	<p><b>NOTE:</b> GENERAL CONTRACTOR/ BUILDER IS RESPONSIBLE TO ENSURE THAT ALUMINUM SCREEN ENCLOSURE MEETS OR EXCEEDS THE RESIDENTIAL SWIMMING POOL SAFETY ACT. AS DOCUMENTED IN FLORIDA STATUTES SEC. 515.21 - 515.37</p>	<p>DOOR BETWEEN GARAGE AND LIVING SPACE TO BE 20 MINUTE RATED OR 1 3/8" THICK SOLID WOOD OR 1 3/8" THICK METAL DOOR.          Garage to residence separation is to be provided in accordance with 7th edition 2020 florida building code.          -Garage ceilings to be 5/8" FC Sheetrock per Table R302.6.          -ROOF Sheathing must be 3/8" per Table R803.2.2.</p>
<p><b>FLOOD RESISTANT MATERIALS FOR AREAS BELOW FLOOD:</b>          -PRESSURE TREATED OR WATER RESISTANT PLYWOOD          -CEMENT BOARD - DUROCK          -BRICK, METAL, CONCRETE BLOCK, PORCELAIN, SLATE, GLASS BLOCK, STONE, CERAMIC AND CLAY TILE.          -COLD-FORMED STEEL AND REINFORCED CONCRETE.          -FOAM AND CLOSED-CELL INSULATION.          -HOLLOW METAL DOORS.</p>	<p>MINIMUM OF 1/2" DRYWALL MUST BE INSTALLED TO UNDERSIDE OF STAIRCASE</p>	<p>ELECTRICAL CONTRACTOR AND OR SECURITY SYSTEM CONTRACTOR SHALL BE RESPONSIBLE TO ENSURE THAT ALL DOORS AND WINDOWS PROVIDING DIRECT ACCESS FROM THE HOME TO THE POOL WILL BE EQUIPPED WITH AN EXIT ALARM THAT HAS A MINIMUM SOUND PRESSURE RATING OF 85 DECIBELS AT 10 FEET. PER THE REQUIREMENTS DESCRIBED IN FLORIDA STATUTES SECTION 515.21 - 515.37, THE RESIDENTIAL SWIMMING POOL SAFETY ACT.</p>
	<p><b>NOTE:</b> ALL STAIR RISERS, TREADS, BEAM HEIGHTS, AND DIMENSIONS TO BE COORDINATED WITH ENGINEERED DRAWINGS. ALL ENGINEERING AS WELL AS ANY DISCREPANCIES SHALL BE BROUGHT TO DON STEVENSON DESIGN FOR REVIEW PRIOR TO CONSTRUCTION.          TREADS AND RISERS MAY VARY DUE TO FIELD CONDITIONS. BUILDER TO VERIFY ALL EXTERIOR STAIR WITH SITE CONDITIONS BEFORE CONSTRUCTION.          SLAB PLAN IS FOR DESIGN PURPOSE ONLY, SEE STRUCTURAL ENGINEERING DRAWINGS</p>	<p><b>NOTE:</b> ALL EXTERIOR WINDOWS AND EXTERIOR DOORS AND INTERIOR DOORS BY BUILDER SUBMITTALS/SELECTIONS (SEE BUILDER FOR DETAILS)          ALL UNPROTECTED DOORS AND WINDOWS TO BE RATED AND LABELED FOR MAX. REQUIRED WIND LOADS. COORDINATION OF CONSTRUCTION, INCLUDING VERIFICATION OF DIMENSIONS AND FIELD CONDITIONS, IS THE RESPONSIBILITY OF THE CONTRACTOR. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGN FIRM PRIOR TO CONSTRUCTION.</p>

REVISIONS	
No:	07.18.2022
1	P.R. Comments
2	
3	

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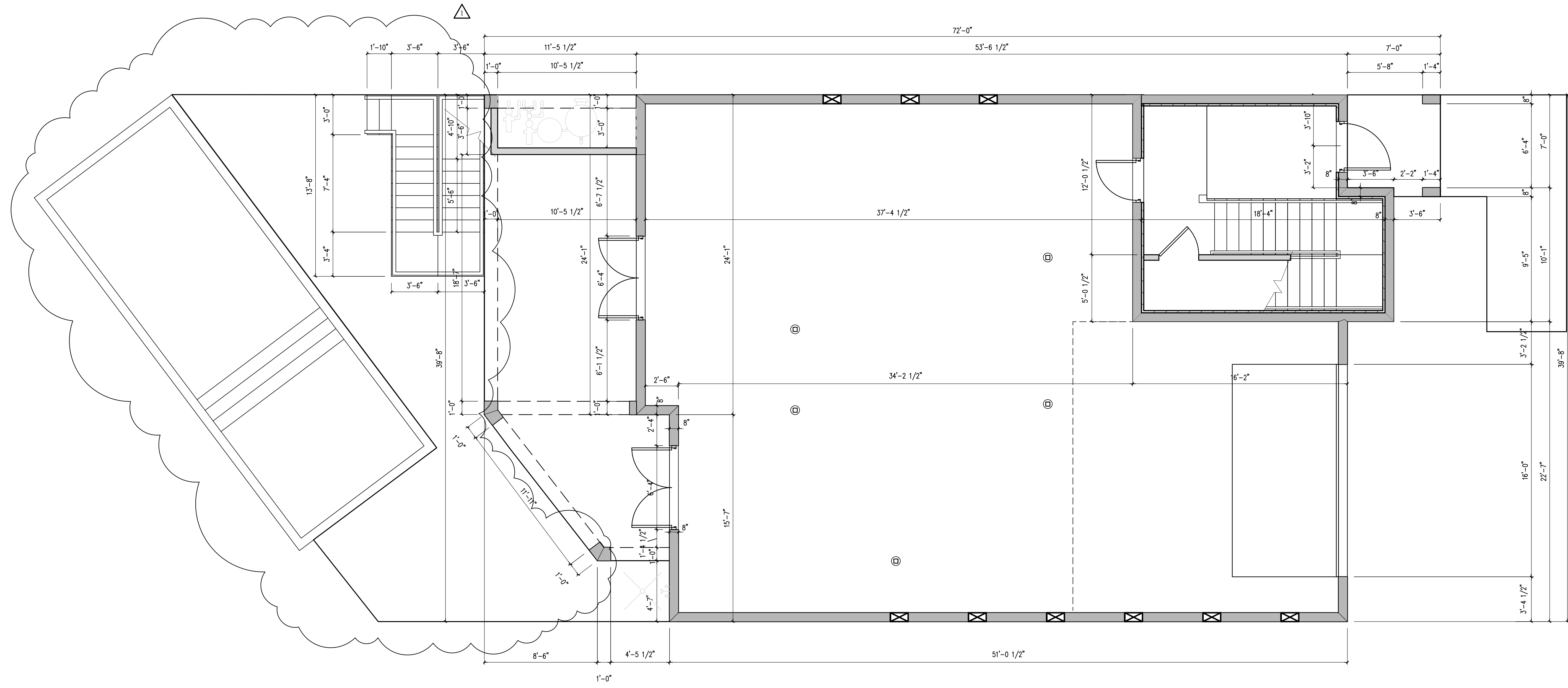
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 ISAIAH DUNLAP  
 AR101410  
 REGISTERED ARCHITECT

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**GARAGE FLOOR DIMENSION PLAN**

SCALE: 1/4" = 1'-0"

<p>NOTE: SLAB TO BE TERMITE PROTECTED PER 2020 FBC - 7th EDITION.          SEE ENGINEER'S STRUCTURAL DRAWINGS FOR ALL SLAB FOOTING, COLUMN &amp; POST DETAILS          BUILDER TO VERIFY RECESS DIMENSIONS FOR EXT. DOORS W/ MANUF.</p>	<p>NOTE:          GENERAL CONTRACTOR/ BUILDER IS RESPONSIBLE TO ENSURE THAT ALUMINUM SCREEN ENCLOSURE MEETS OR EXCEEDS THE RESIDENTIAL SWIMMING POOL SAFETY ACT, AS DOCUMENTED IN FLORIDA STATUTES SEC. 515.21 - 515.37</p>	<p>DOOR BETWEEN GARAGE AND LIVING SPACE TO BE 20 MINUTE RATED OR 1 3/8" THICK SOLID WOOD OR 1 3/8" THICK METAL DOOR.          Garage to residence separation is to be provided in accordance with 7th edition 2020 florida building code.          -Garage ceilings to be 5/8" FC Sheetrock per Table R302.6.          -ROOF Sheathing must be 3/8" per Table R803.2.2.</p>
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	<p>ALL INTERIOR NEW PARTITIONS ON 26 GA METAL STUDS @ 16" O.C. TO UNDERSIDE OF ROOF STRUCTURE TO MEET I.C.B.O. #1715P OR EQUAL.</p>	<p>NOTE:          ALL EXTERIOR WINDOWS AND EXTERIOR DOORS AND INTERIOR DOORS BY BUILDER SUBMITTALS/SELECTIONS (SEE BUILDER FOR DETAILS)          ALL UNPROTECTED DOORS AND WINDOWS TO BE RATED AND LABELED FOR MAX. REQUIRED WIND LOADS. COORDINATION OF CONSTRUCTION, INCLUDING VERIFICATION OF DIMENSIONS AND FIELD CONDITIONS, IS THE RESPONSIBILITY OF THE CONTRACTOR.          ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGN FIRM PRIOR TO CONSTRUCTION.</p>
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**CONSTRUCTION/BID SET  
RELEASE DATE: 08.30.22**

REVISIONS	
1	07.21.2022 P.R. Comments
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3	

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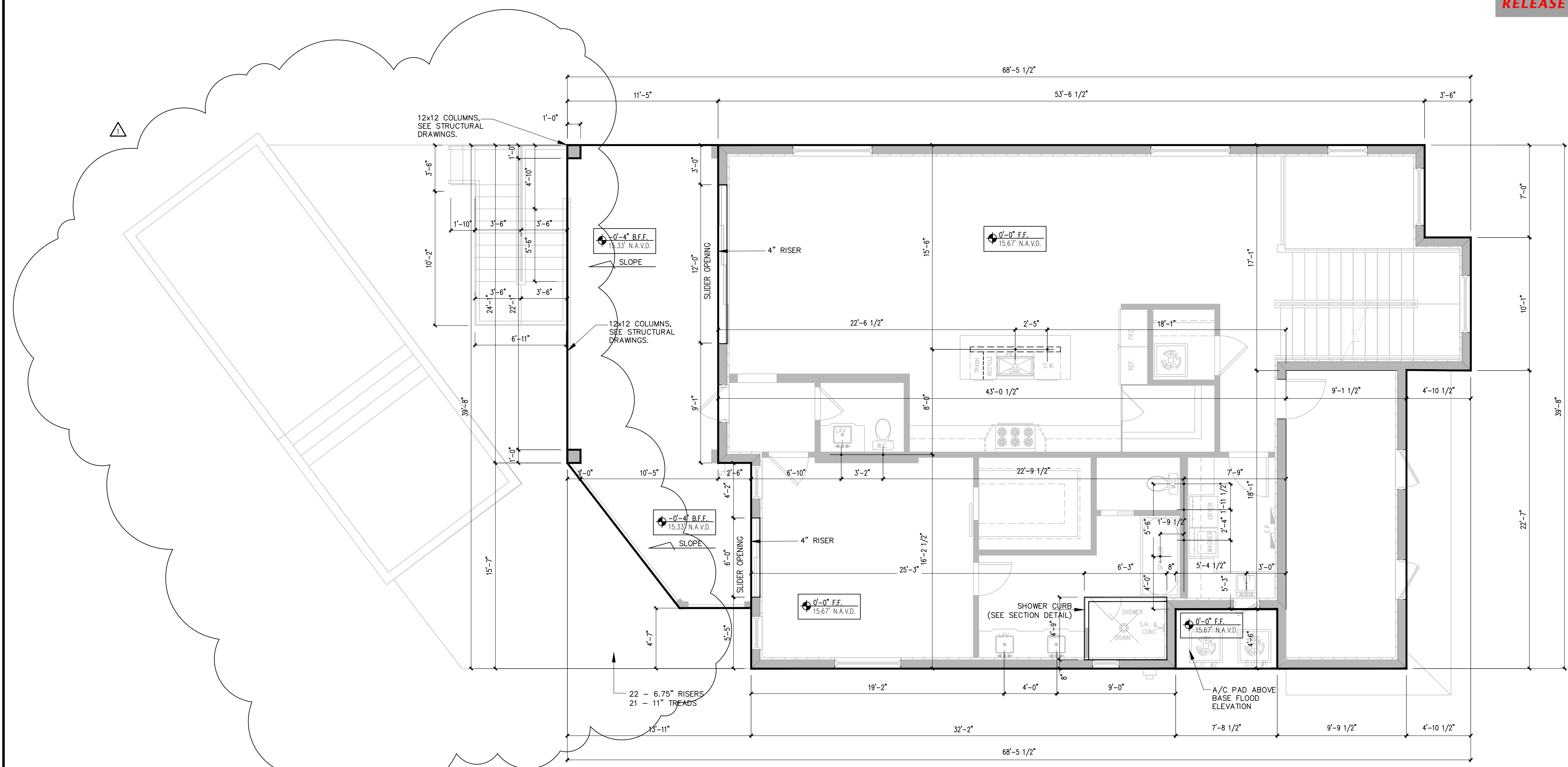
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ISAIAH DUNLAP  
REG. # 101410

STATE OF FLORIDA  
ISAIAH DUNLAP  
REGISTERED ARCHITECT

JOB: L22050  
DATE: 05.19.2022  
CAD REF: CD 100%

**SHEET  
A-6**



**2nd FLOOR SLAB PLAN**

SCALE: 1/4" = 1'-0"

FOUNDATION TO BE ENGINEERED

**CONSTRUCTION/BID SET  
RELEASE DATE: 08.30.22**

NOTE: SLAB TO BE TERMITE PROTECTED PER 7TH EDITION 2020 FBC-RESIDENTIAL

SEE ENGINEER'S STRUCTURAL DRAWINGS FOR ALL SLAB FOOTING, COLUMN & POST DETAILS

VERT. REINF. IN CONC. BLK. WALLS BY ENGINEER

BUILDER TO VERIFY RECESS DIMENSIONS FOR EXT. DOORS W/ MANUF.

NOTE: ALL STAIR RISERS, TREADS, BEAM HEIGHTS, AND DIMENSIONS TO BE COORDINATED WITH ENGINEERED DRAWINGS. ALL ENGINEERING AS WELL AS ANY DISCREPANCIES SHALL BE BROUGHT TO DON STEVENSON DESIGN FOR REVIEW PRIOR TO CONSTRUCTION.

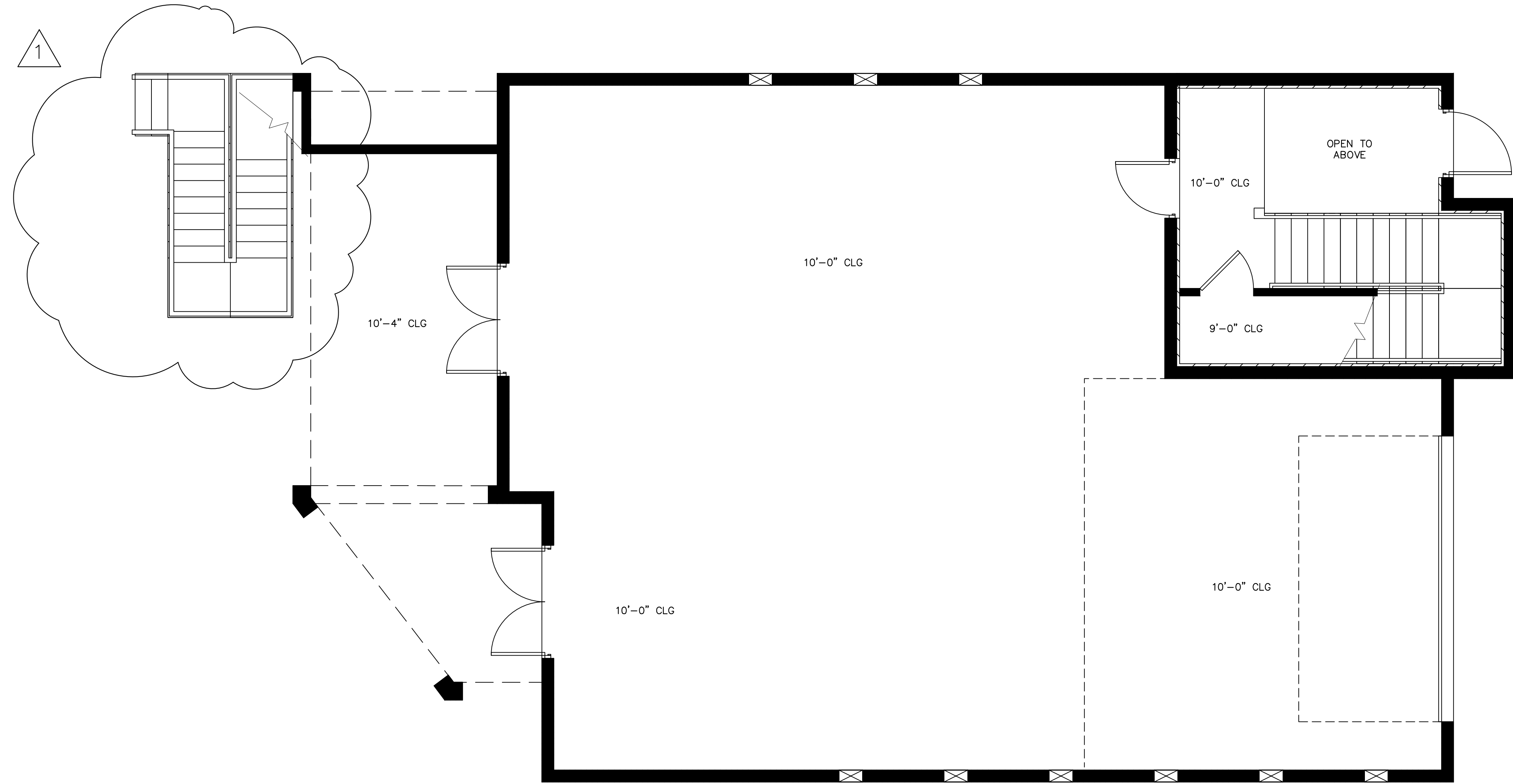
TREADS AND RISERS MAY VARY DUE TO FIELD CONDITIONS. BUILDER TO VERIFY ALL EXTERIOR STAIR WITH SITE CONDITIONS BEFORE CONSTRUCTION.

SLAB PLAN IS FOR DESIGN PURPOSE ONLY, SEE STRUCTURAL ENGINEERING DRAWINGS

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**CONSTRUCTION/BID SET**  
**RELEASE DATE: 08.30.22**



**CONSTRUCTION/BID SET**  
**RELEASE DATE: 08.30.22**

**GARAGE FLOOR REFLECTED CEILING PLAN**  
SCALE: 1/4" = 1'-0"

No.	REVISIONS
1	07.21.2022 P.R. Comments
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3	

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REG. # 101410

JOB:	L22050
DATE:	05.19.2022
CAD REF:	CD 100%

**SHEET**  
**A-5**

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No: REVISIONS	
1	07.21.2022 P.R. Comments
2	
3	

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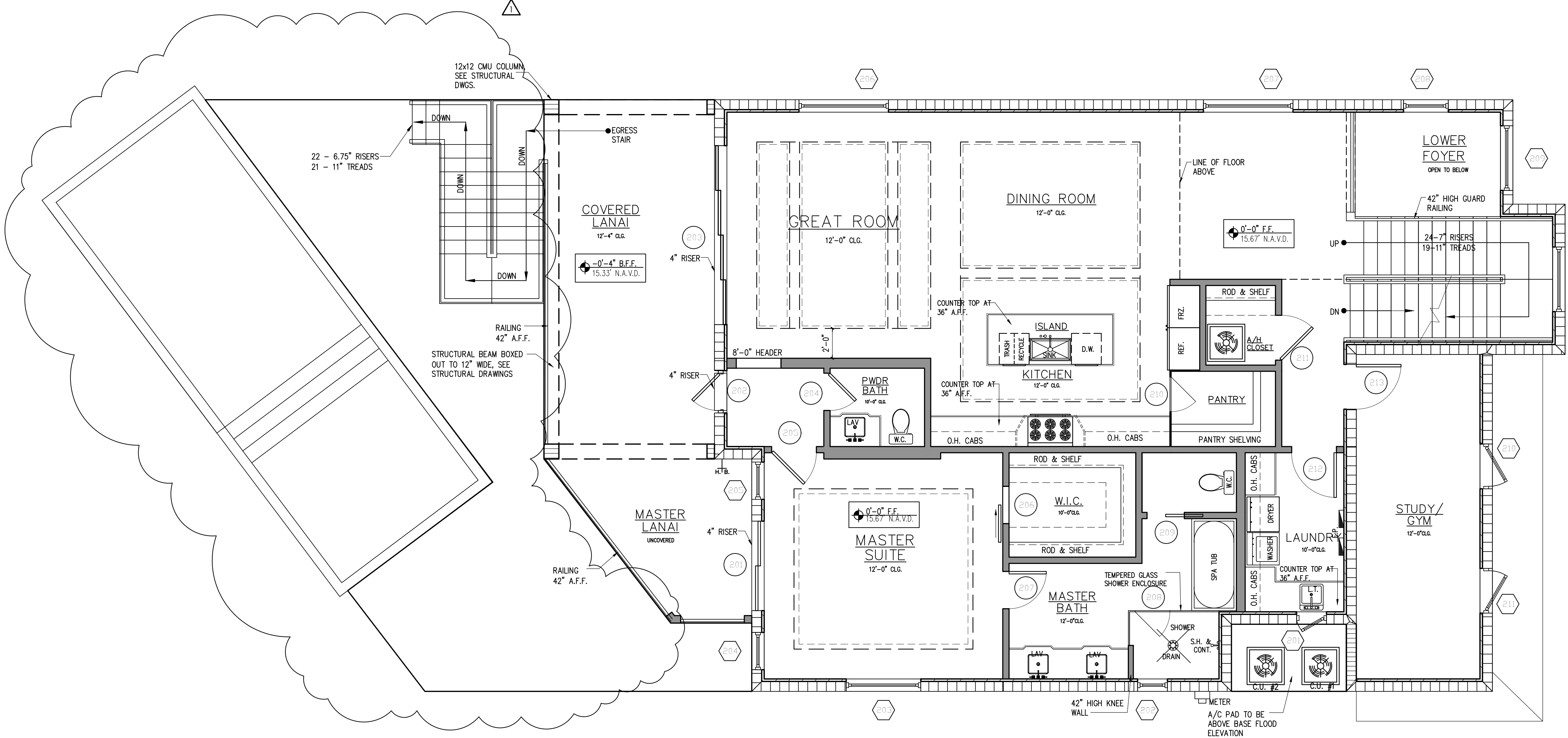
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 REG. # 101410

STATE OF FLORIDA  
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 AR101410  
 REGISTERED ARCHITECT

JOB: L22050  
 DATE: 05.19.2022  
 CAD REF: CD 100%

**SHEET**  
**A-7**

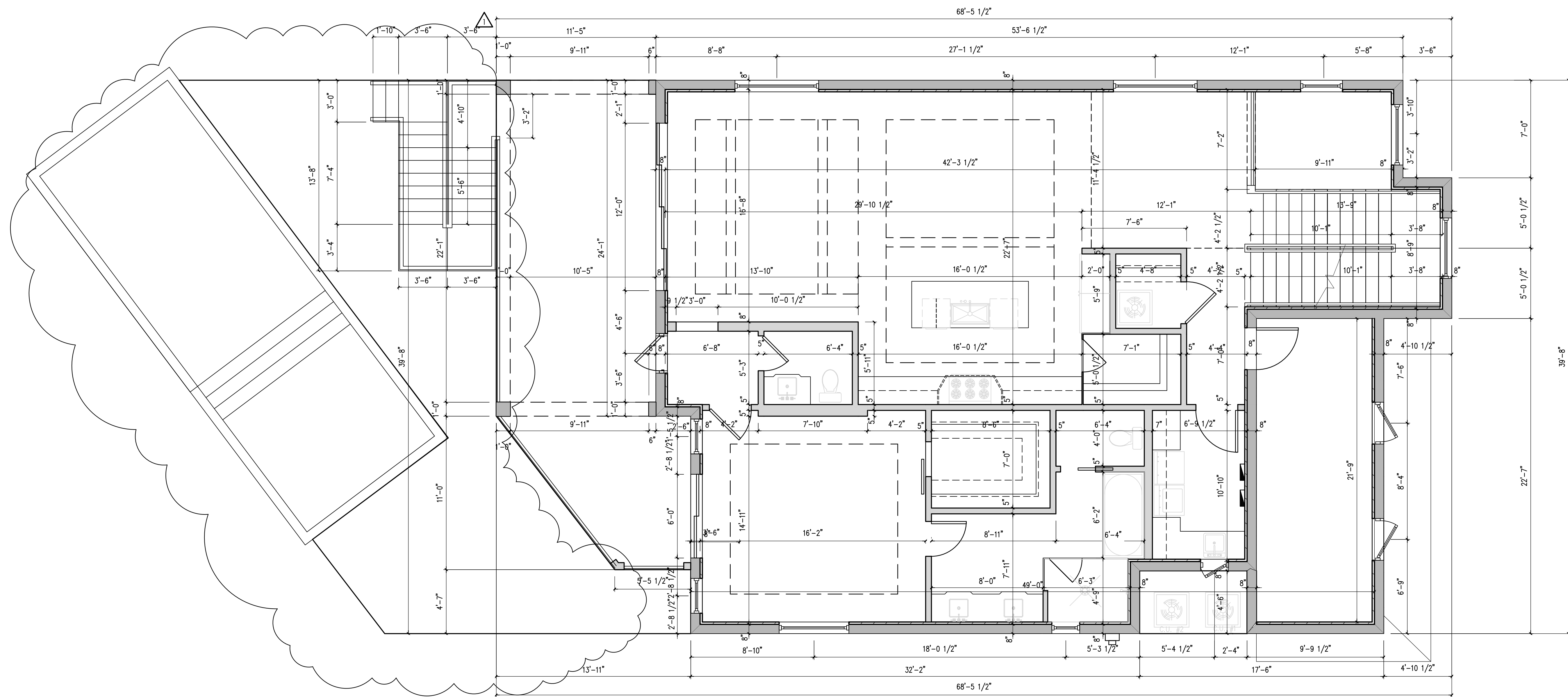


**2nd FLOOR NOTES PLAN**  
 SCALE: 1/4" = 1'-0"

- NOTE:** GENERAL CONTRACTOR/ BUILDER IS RESPONSIBLE TO ENSURE THAT ALUMINUM SCREEN ENCLOSURE MEETS OR EXCEEDS THE RESIDENTIAL SWIMMING POOL SAFETY ACT. AS DOCUMENTED IN FLORIDA STATUTES SEC. 515.21 - 515.37
- DOOR BETWEEN GARAGE AND LIVING SPACE TO BE 20 MINUTE RATED OR 1 3/8" THICK SOLID WOOD OR 1 3/8" THICK METAL DOOR.
- Garage to residence separation is to be provided in accordance with 7th edition 2020 florida building code.
- Garage ceilings to be 5/8" FC Sheetrock per Table R302.6.
- ROOF Sheathing must be 3/8" per Table R803.2.2.
- NOTE:** SLAB TO BE TERMITE PROTECTED PER 2020 FBC - 7th EDITION.  
 SEE ENGINEER'S STRUCTURAL DRAWINGS FOR ALL SLAB FOOTING, COLUMN & POST DETAILS  
 BUILDER TO VERIFY RECESS DIMENSIONS FOR EXT. DOORS W/ MANUF.
- MINIMUM OF 1/2" DRYWALL MUST BE INSTALLED TO UNDERSIDE OF STAIRCASE
- ALL INTERIOR NEW PARTITIONS ON 26 GA METAL STUDS @ 16" O.C. TO UNDERSIDE OF ROOF STRUCTURE TO MEET I.C.B.O. #1715P OR EQUAL.
- FLOOD RESISTANT MATERIALS FOR AREAS BELOW FLOOD:**  
 -PRESSURE TREATED OR WATER RESISTANT PLYWOOD  
 -CEMENT BOARD - DUROCK  
 -BRICK, METAL, CONCRETE BLOCK, PORCELAIN, SLATE, GLASS BLOCK, STONE, CERAMIC AND CLAY TILE.  
 -COLD-FORMED STEEL AND REINFORCED CONCRETE.  
 -FOAM AND CLOSED-CELL INSULATION.  
 -HOLLOW METAL DOORS.
- NOTE:** ALL STAIR RISERS, TREADS, BEAM HEIGHTS, AND DIMENSIONS TO BE COORDINATED WITH ENGINEERED DRAWINGS. ALL ENGINEERING AS WELL AS ANY DISCREPANCIES SHALL BE BROUGHT TO DON STEVENSON DESIGN FOR REVIEW PRIOR TO CONSTRUCTION.  
 TREADS AND RISERS MAY VARY DUE TO FIELD CONDITIONS. BUILDER TO VERIFY ALL EXTERIOR STAIR WITH SITE CONDITIONS BEFORE CONSTRUCTION.  
 SLAB PLAN IS FOR DESIGN PURPOSE ONLY, SEE STRUCTURAL ENGINEERING DRAWINGS
- NOTE:** ALL EXTERIOR WINDOWS AND EXTERIOR DOORS AND INTERIOR DOORS BY BUILDER SUBMITTALS/SELECTIONS (SEE BUILDER FOR DETAILS)  
 ALL UNPROTECTED DOORS AND WINDOWS TO BE RATED AND LABELED FOR MAX. REQUIRED WIND LOADS. COORDINATION OF CONSTRUCTION, INCLUDING VERIFICATION OF DIMENSIONS AND FIELD CONDITIONS, IS THE RESPONSIBILITY OF THE CONTRACTOR.  
 ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGN FIRM PRIOR TO CONSTRUCTION.

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1	07.21.2022 P.R. Comments
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3	



**2nd FLOOR DIMENSION PLAN**

SCALE: 1/4" = 1'-0"

<p><b>NOTE:</b> SLAB TO BE TERMITE PROTECTED PER 2020 FBC - 7th EDITION.  <b>SEE ENGINEER'S STRUCTURAL DRAWINGS FOR ALL SLAB FOOTING, COLUMN &amp; POST DETAILS</b></p> <p>BUILDER TO VERIFY RECESS DIMENSIONS FOR EXT. DOORS W/ MANUF.</p>	<p><b>NOTE:</b> GENERAL CONTRACTOR/ BUILDER IS RESPONSIBLE TO ENSURE THAT ALUMINUM SCREEN ENCLOSURE MEETS OR EXCEEDS THE RESIDENTIAL SWIMMING POOL SAFETY ACT. AS DOCUMENTED IN FLORIDA STATUTES SEC. 515.21 - 515.37</p>	<p>DOOR BETWEEN GARAGE AND LIVING SPACE TO BE 20 MINUTE RATED OR 1 3/8" THICK SOLID WOOD OR 1 3/8" THICK METAL DOOR</p> <p>Garage to residence separation is to be provided in accordance with 7th edition 2020 florida building code.</p> <ul style="list-style-type: none"> <li>-Garage ceilings to be 8" FC Sheetrock per Table R302.6.</li> <li>-ROOF Sheathing must be 3/8" per Table R803.2.2.</li> </ul>
<p><b>FLOOD RESISTANT MATERIALS FOR AREAS BELOW FLOOD:</b></p> <ul style="list-style-type: none"> <li>-PRESSURE TREATED OR WATER RESISTANT PLYWOOD</li> <li>-CEMENT BOARD - DUROCK</li> <li>-BRICK, METAL, CONCRETE BLOCK, PORCELAIN, SLATE, GLASS BLOCK, STONE, CERAMIC AND CLAY TILE.</li> <li>-COLD-FORMED STEEL AND REINFORCED CONCRETE.</li> <li>-FOAM AND CLOSED-CELL INSULATION.</li> <li>-HOLLOW METAL DOORS.</li> </ul>	<p>MINIMUM OF 1/2" DRYWALL MUST BE INSTALLED TO UNDERSIDE OF STAIRCASE</p>	<p>ELECTRICAL CONTRACTOR AND OR SECURITY SYSTEM CONTRACTOR SHALL BE RESPONSIBLE TO ENSURE THAT ALL DOORS AND WINDOWS PROVIDING DIRECT ACCESS FROM THE HOME TO THE POOL WILL BE EQUIPPED WITH AN EXIT ALARM THAT HAS A MINIMUM SOUND PRESSURE RATING OF 85 DECIBELS AT 10 FEET, PER THE REQUIREMENTS DESCRIBED IN FLORIDA STATUTES SECTION 515.21 - 515.37, THE RESIDENTIAL SWIMMING POOL SAFETY ACT.</p>
<p>ALL INTERIOR NEW PARTITIONS ON 26 GA METAL STUDS @ 16" O.C. TO UNDERSIDE OF ROOF STRUCTURE TO MEET I.C.B.O. #1715P OR EQUAL.</p>	<p><b>NOTE:</b> ALL STAIR RISERS, TREADS, BEAM HEIGHTS, AND DIMENSIONS TO BE COORDINATED WITH ENGINEERED DRAWINGS. ALL ENGINEERING AS WELL AS ANY DISCREPANCIES SHALL BE BROUGHT TO DON STEVENSON DESIGN FOR REVIEW PRIOR TO CONSTRUCTION.</p> <p>TREADS AND RISERS MAY VARY DUE TO FIELD CONDITIONS. BUILDER TO VERIFY ALL EXTERIOR STAIR WITH SITE CONDITIONS BEFORE CONSTRUCTION.</p> <p>SLAB PLAN IS FOR DESIGN PURPOSE ONLY, SEE STRUCTURAL ENGINEERING DRAWINGS</p>	<p><b>NOTE:</b> ALL EXTERIOR WINDOWS AND EXTERIOR DOORS AND INTERIOR DOORS BY BUILDER SUBMITTALS/SELECTIONS (SEE BUILDER FOR DETAILS)</p> <p>ALL UNPROTECTED DOORS AND WINDOWS TO BE RATED AND LABELED FOR MAX. REQUIRED WIND LOADS. COORDINATION OF CONSTRUCTION, INCLUDING VERIFICATION OF DIMENSIONS AND FIELD CONDITIONS, IS THE RESPONSIBILITY OF THE CONTRACTOR. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGN FIRM PRIOR TO CONSTRUCTION.</p>

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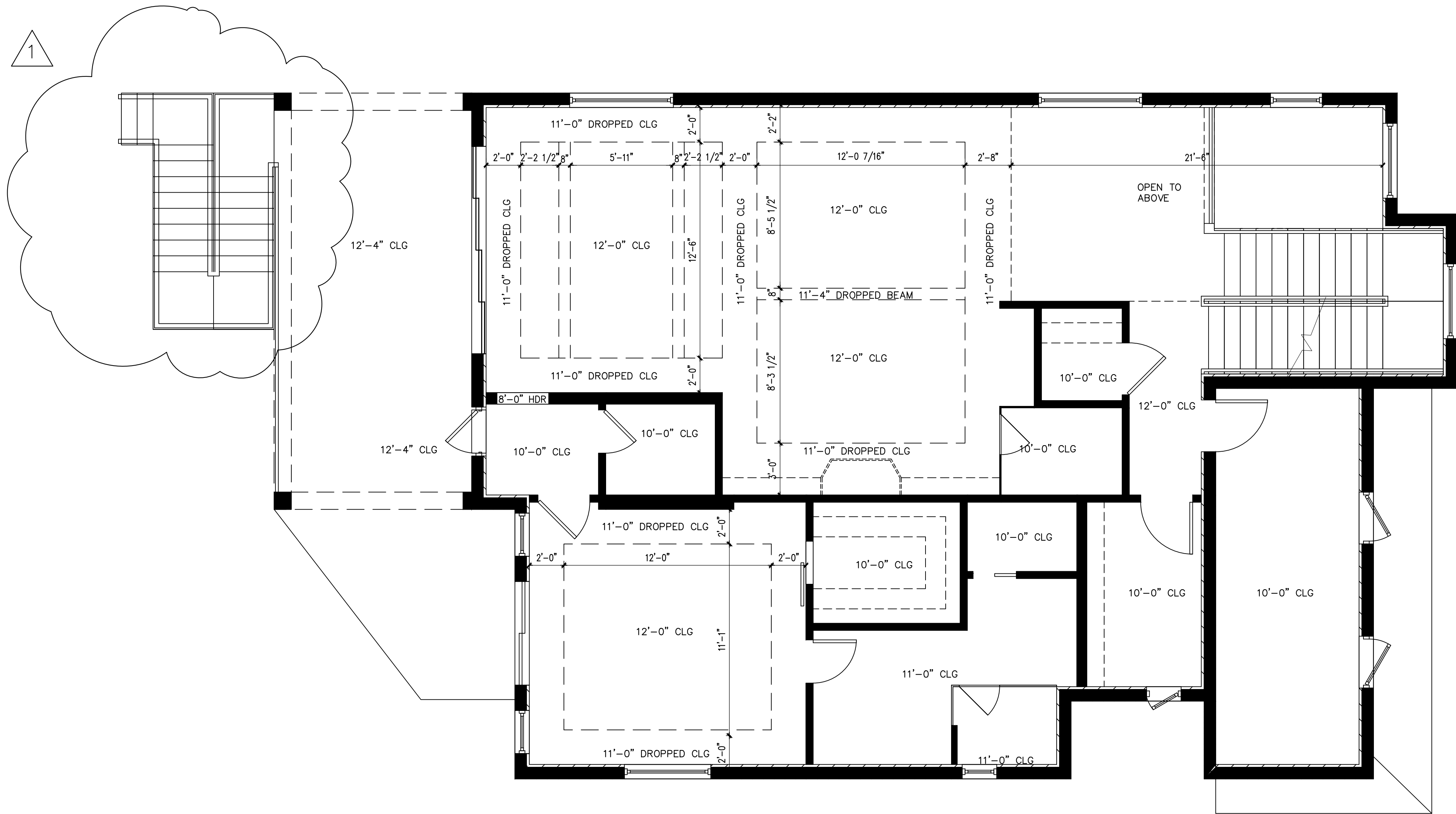
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JOB: L22050  
 DATE: 05.19.2022  
 CAD REF: CD 100%

**SHEET A-8**

CONSTRUCTION/BID SET  
RELEASE DATE: 08.30.22



CONSTRUCTION/BID SET  
RELEASE DATE: 08.30.22

2nd FLOOR REFLECTED CEILING PLAN  
SCALE: 1/4" = 1'-0"

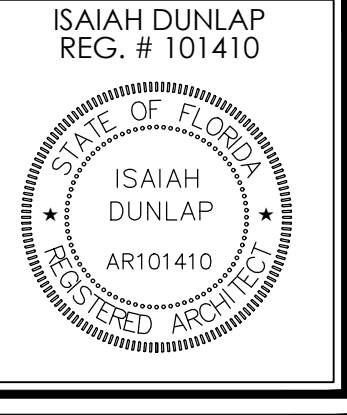
No.	REVISIONS
1	07.21.2022 P.R. Comments
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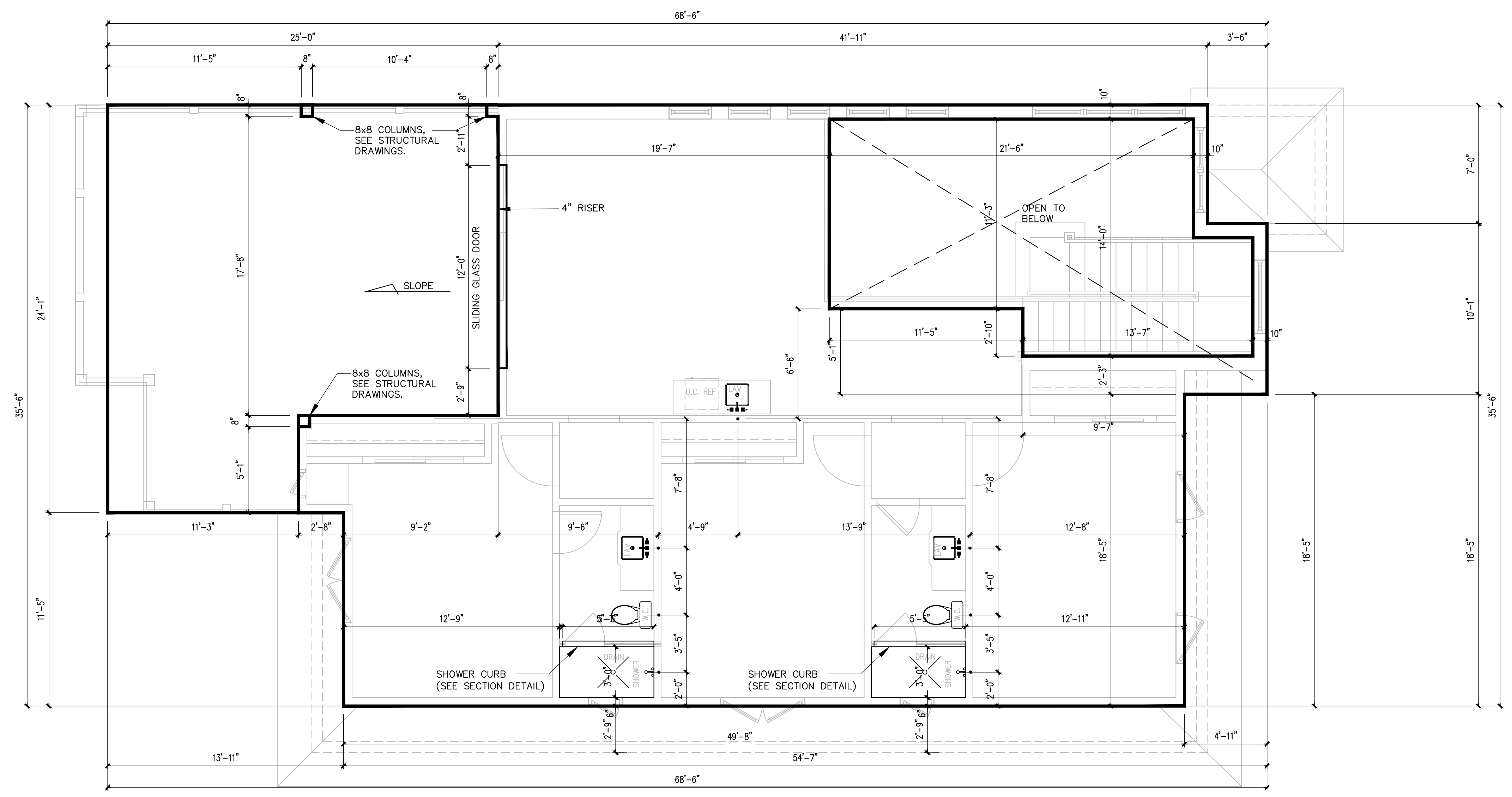


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SHEET  
**A-9**

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**CONSTRUCTION/BID SET  
RELEASE DATE: 08.30.22**



**3rd FLOOR SLAB PLAN**

SCALE: 1/4" = 1'-0"

FOUNDATION TO BE ENGINEERED

**CONSTRUCTION/BID SET  
RELEASE DATE: 08.30.22**

NOTE: SLAB TO BE TERMITE PROTECTED PER 7TH EDITION 2020 FBC-RESIDENTIAL  
SEE ENGINEER'S STRUCTURAL DRAWINGS FOR ALL SLAB FOOTING, COLUMN & POST DETAILS  
VERT. REINF. IN CONC. BLK. WALLS BY ENGINEER  
BUILDER TO VERIFY RECESS DIMENSIONS FOR EXT. DOORS W/ MANUF.

NOTE: ALL STAIR RISERS, TREADS, BEAM HEIGHTS, AND DIMENSIONS TO BE COORDINATED WITH ENGINEERED DRAWINGS. ALL ENGINEERING AS WELL AS ANY DISCREPANCIES SHALL BE BROUGHT TO DON STEVENSON DESIGN FOR REVIEW PRIOR TO CONSTRUCTION.  
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SLAB PLAN IS FOR DESIGN PURPOSE ONLY, SEE STRUCTURAL ENGINEERING DRAWINGS

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1	06.27.2022 P.R. Comments
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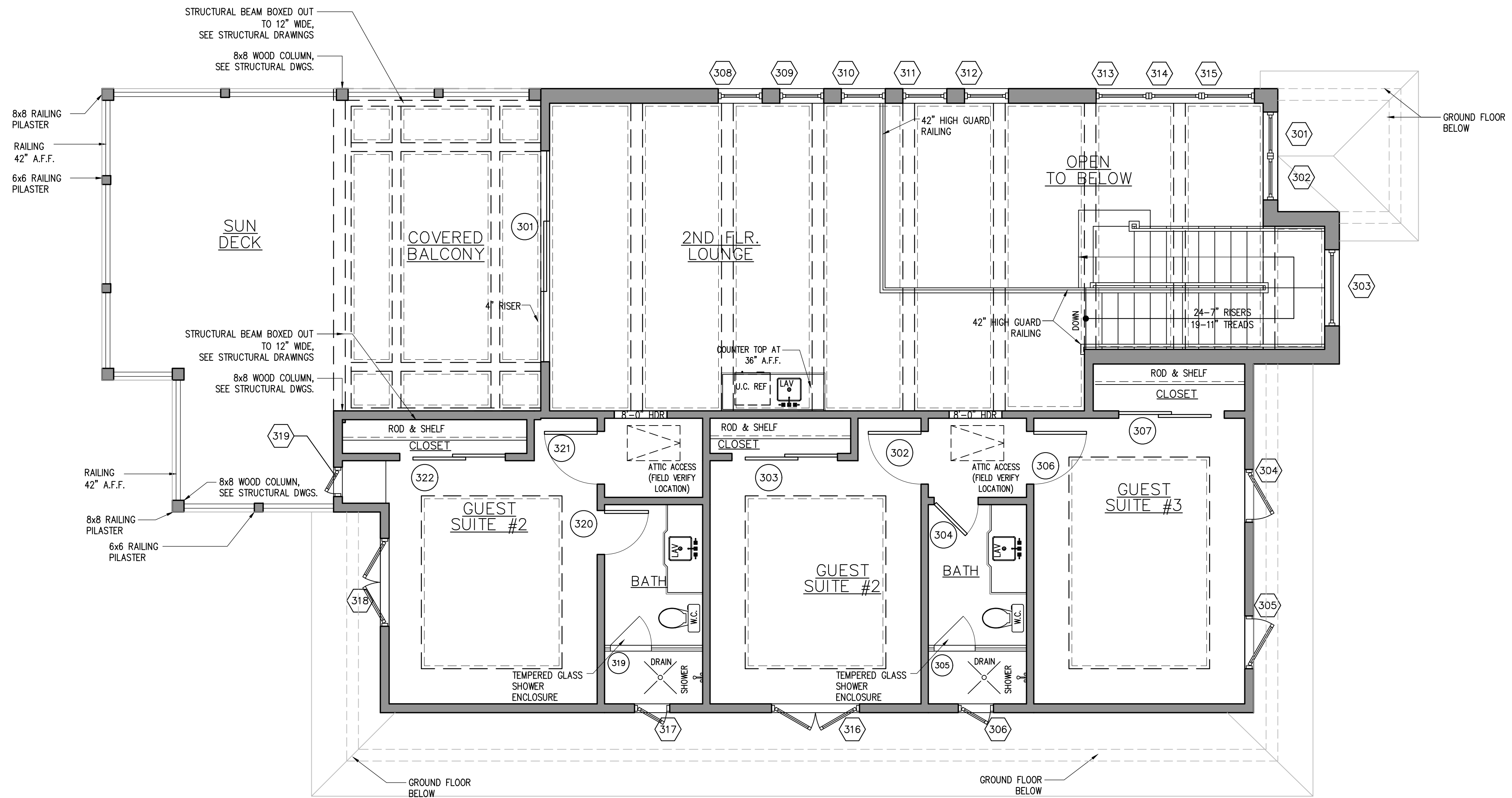
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**3rd FLOOR NOTES PLAN**

SCALE: 1/4" = 1'-0"

NOTE: SLAB TO BE TERMITE PROTECTED PER 2020  
 IRC - 7th EDITION.  
 SEE ENGINEER'S STRUCTURAL DRAWINGS FOR ALL  
 SLAB FOOTING, COLUMN & POST DETAILS  
 BUILDER TO VERIFY RECESS DIMENSIONS FOR EXT.  
 DOORS W/ MANUF.

FLOOD RESISTANT MATERIALS  
 FOR AREAS BELOW FLOOD:  
 -PRESSURE TREATED OR WATER RESISTANT PLYWOOD  
 -CEMENT BOARD - DUROCK  
 -BRICK, METAL, CONCRETE BLOCK, PORCELAIN, SLATE,  
 GLASS BLOCK, STONE, CERAMIC AND CLAY TILE.  
 -COLD-FORMED STEEL AND REINFORCED CONCRETE.  
 -FOAM AND CLOSED-CELL INSULATION.  
 -HOLLOW METAL DOORS.

NOTE:  
 GENERAL CONTRACTOR/ BUILDER IS RESPONSIBLE TO  
 ENSURE THAT ALUMINUM SCREEN ENCLOSURE MEETS  
 OR EXCEEDS THE RESIDENTIAL SWIMMING POOL  
 SAFETY ACT, AS DOCUMENTED IN FLORIDA STATUTES  
 SEC. 515.21 - 515.37

MINIMUM OF 1/2" DRYWALL MUST BE INSTALLED  
 TO UNDERSIDE OF STAIRCASE

NOTE:  
 ALL STAIR RISERS, TREADS, BEAM HEIGHTS,  
 AND DIMENSIONS TO BE COORDINATED WITH  
 ENGINEERED DRAWINGS. ALL ENGINEERING AS  
 WELL AS ANY DISCREPANCIES SHALL BE  
 BROUGHT TO DON STEVENSON DESIGN FOR  
 REVIEW PRIOR TO CONSTRUCTION.  
 TREADS AND RISERS MAY VARY DUE TO FIELD  
 CONDITIONS. BUILDER TO VERIFY ALL EXTERIOR STAIR  
 WITH SITE CONDITIONS BEFORE CONSTRUCTION.  
 SLAB PLAN IS FOR DESIGN PURPOSE ONLY,  
 SEE STRUCTURAL ENGINEERING DRAWINGS

DOOR BETWEEN GARAGE AND LIVING SPACE TO BE 20  
 MINUTE RATED OR 1 3/8" THICK SOLID WOOD OR 1 3/8"  
 THICK METAL DOOR.  
 Garage to residence separation is to be provided in  
 accordance with 7th edition 2020 florida building code.  
 -Garage ceilings to be 5/8" FC Sheetrock per Table R302.6.  
 -ROOF Sheathing must be 3/8" per Table RB03.2.2.

ELECTRICAL CONTRACTOR AND OR SECURITY SYSTEM  
 CONTRACTOR SHALL BE RESPONSIBLE TO ENSURE THAT  
 ALL DOORS AND WINDOWS PROVIDING DIRECT ACCESS  
 FROM THE HOME TO THE POOL WILL BE EQUIPPED WITH  
 AN EXIT ALARM THAT HAS A MINIMUM SOUND  
 PRESSURE RATING OF 85 DECIBELS AT 10 FEET, PER  
 THE REQUIREMENTS DESCRIBED IN FLORIDA STATUTES  
 SECTION 515.21 - 515.37, THE RESIDENTIAL SWIMMING  
 POOL SAFETY ACT.

NOTE:  
 ALL EXTERIOR WINDOWS AND EXTERIOR DOORS AND  
 INTERIOR DOORS BY BUILDER SUBMITTALS/SELECTIONS  
 (SEE BUILDER FOR DETAILS)  
 ALL UNPROTECTED DOORS AND WINDOWS TO BE  
 RATED AND LABELED FOR MAX. REQUIRED WIND  
 LOADS. COORDINATION OF CONSTRUCTION, INCLUDING  
 VERIFICATION OF DIMENSIONS AND FIELD CONDITIONS,  
 IS THE RESPONSIBILITY OF THE CONTRACTOR.  
 ANY DISCREPANCIES SHALL BE BROUGHT TO THE  
 ATTENTION OF THE DESIGN FIRM PRIOR TO  
 CONSTRUCTION.

REVISIONS	
1	06.27.2022 P.R. Comments
2	
3	

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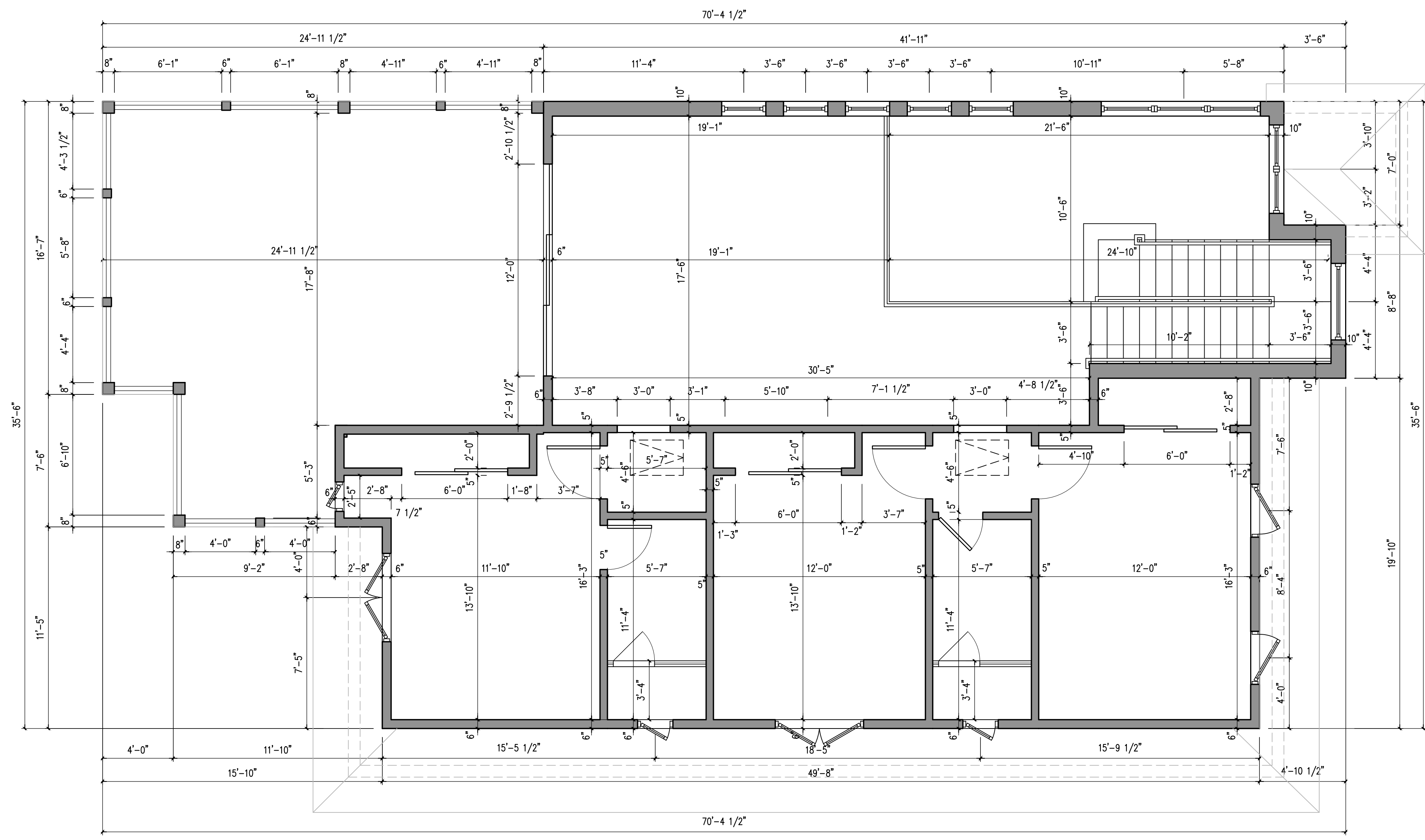
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**SHEET**  
**A-11**

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No:	REVISIONS
1	06.27.2022 P.R. Comments
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**3rd FLOOR DIMENSION PLAN**  
 SCALE: 1/4" = 1'-0"

- NOTE: GENERAL CONTRACTOR/ BUILDER IS RESPONSIBLE TO ENSURE THAT ALUMINUM SCREEN ENCLOSURE MEETS OR EXCEEDS THE RESIDENTIAL SWIMMING POOL SAFETY ACT, AS DOCUMENTED IN FLORIDA STATUTES SEC. 515.21 - 515.37
- DOOR BETWEEN GARAGE AND LIVING SPACE TO BE 20 MINUTE RATED OR 1 3/8" THICK SOLID WOOD OR 1 3/8" THICK METAL DOOR
- Garage to residence separation is to be provided in accordance with 7th edition 2020 florida building code.
- Garage ceilings to be 5/8" FC Sheetrock per Table R302.6.
- ROOF Sheathing must be 3/8" per Table R803.2.2.
- NOTE: SLAB TO BE TERMITE PROTECTED PER 2020 FBC - 7th EDITION.
- SEE ENGINEER'S STRUCTURAL DRAWINGS FOR ALL SLAB FOOTING, COLUMN & POST DETAILS
- BUILDER TO VERIFY RECESS DIMENSIONS FOR EXT. DOORS W/ MANUF.
- MINIMUM OF 1/2" DRYWALL MUST BE INSTALLED TO UNDERSIDE OF STAIRCASE
- ELECTRICAL CONTRACTOR AND OR SECURITY SYSTEM CONTRACTOR SHALL BE RESPONSIBLE TO ENSURE THAT ALL DOORS AND WINDOWS PROVIDING DIRECT ACCESS FROM THE HOME TO THE POOL WILL BE EQUIPPED WITH AN EXIT ALARM THAT HAS A MINIMUM SOUND PRESSURE RATING OF 85 DECIBELS AT 10 FEET, PER THE REQUIREMENTS DESCRIBED IN FLORIDA STATUTES SECTION 515.21 - 515.37, THE RESIDENTIAL SWIMMING POOL SAFETY ACT.
- FLOOD RESISTANT MATERIALS FOR AREAS BELOW FLOOD:
  - PRESSURE TREATED OR WATER RESISTANT PLYWOOD
  - CEMENT BOARD - DUROCK
  - BRICK, METAL, CONCRETE BLOCK, PORCELAIN, SLATE, GLASS BLOCK, STONE, CERAMIC AND CLAY TILE.
  - COLD-FORMED STEEL AND REINFORCED CONCRETE.
  - FOAM AND CLOSED-CELL INSULATION.
  - HOLLOW METAL DOORS.
- NOTE: ALL STAIR RISERS, TREADS, BEAM HEIGHTS, AND DIMENSIONS TO BE COORDINATED WITH ENGINEERED DRAWINGS. ALL ENGINEERING AS WELL AS ANY DISCREPANCIES SHALL BE BROUGHT TO DON STEVENSON DESIGN FOR REVIEW PRIOR TO CONSTRUCTION.
- TREADS AND RISERS MAY VARY DUE TO FIELD CONDITIONS. BUILDER TO VERIFY ALL EXTERIOR STAIR WITH SITE CONDITIONS BEFORE CONSTRUCTION.
- SLAB PLAN IS FOR DESIGN PURPOSE ONLY, SEE STRUCTURAL ENGINEERING DRAWINGS
- NOTE: ALL EXTERIOR WINDOWS AND EXTERIOR DOORS AND INTERIOR DOORS BY BUILDER SUBMITTALS/SELECTIONS (SEE BUILDER FOR DETAILS)
- ALL UNPROTECTED DOORS AND WINDOWS TO BE RATED AND LABELED FOR MAX. REQUIRED WIND LOADS. COORDINATION OF CONSTRUCTION, INCLUDING VERIFICATION OF DIMENSIONS AND FIELD CONDITIONS, IS THE RESPONSIBILITY OF THE CONTRACTOR.
- ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGN FIRM PRIOR TO CONSTRUCTION.

**River Breeze Model**  
 27547 Big Bend Road,  
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Michael J. Whalen  
 MikeWhalen247.com  
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ISAIAH DUNLAP  
 REG. # 101410

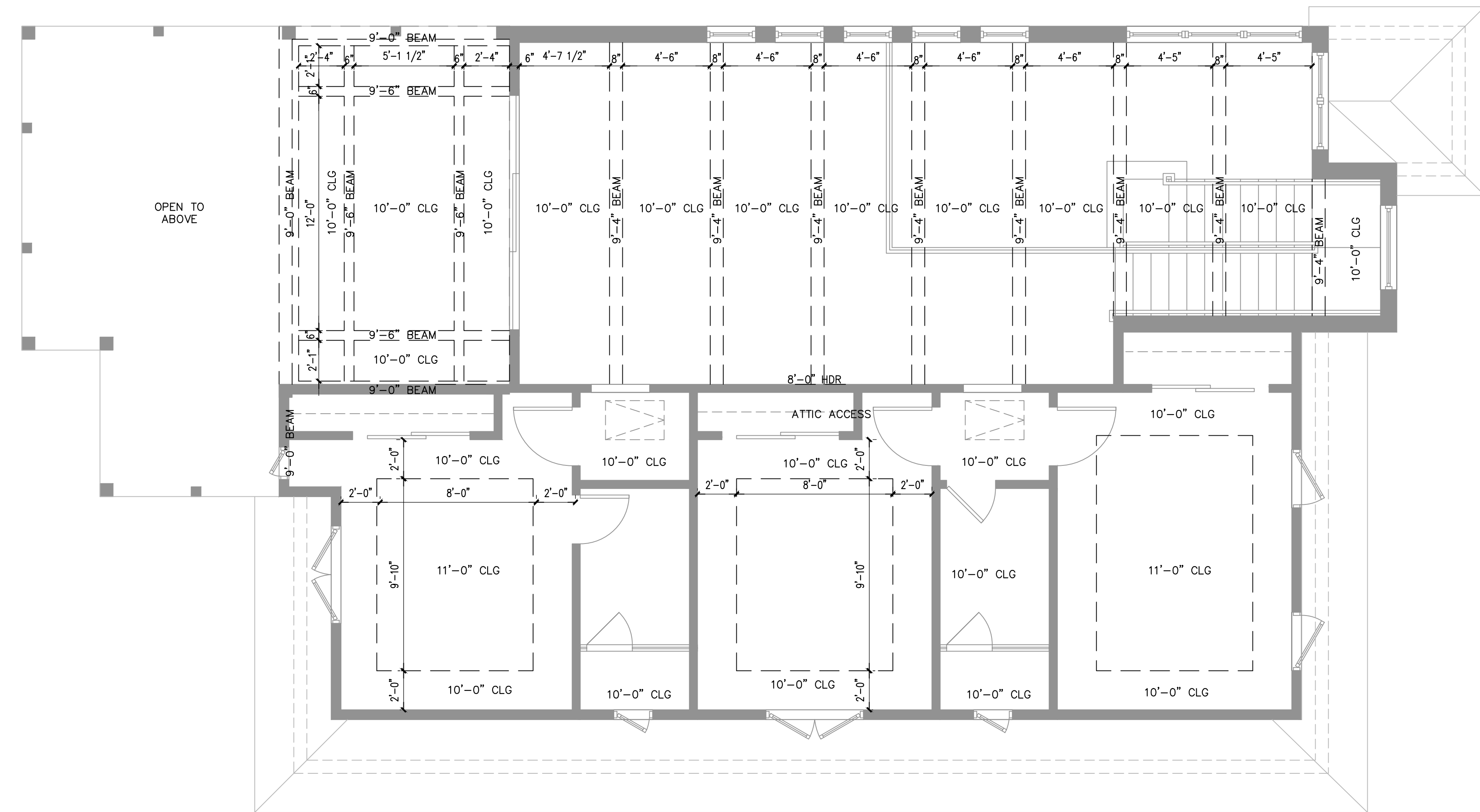
STATE OF FLORIDA  
 ISAIAH DUNLAP  
 REGISTERED ARCHITECT  
 AR101410

JOB: L22050  
 DATE: 05.19.2022  
 CAD REF: CD 100%

**SHEET**  
**A-12**

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**CONSTRUCTION/BID SET  
RELEASE DATE: 08.30.22**



**3rd FLOOR REFLECTED CEILING PLAN**

SCALE: 1/4" = 1'-0"

**CONSTRUCTION/BID SET  
RELEASE DATE: 08.30.22**

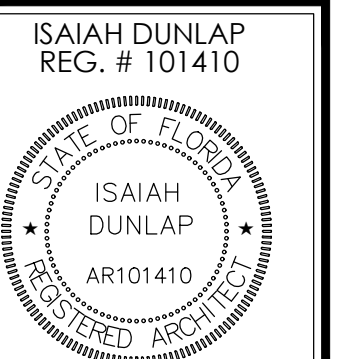
No.	REVISIONS
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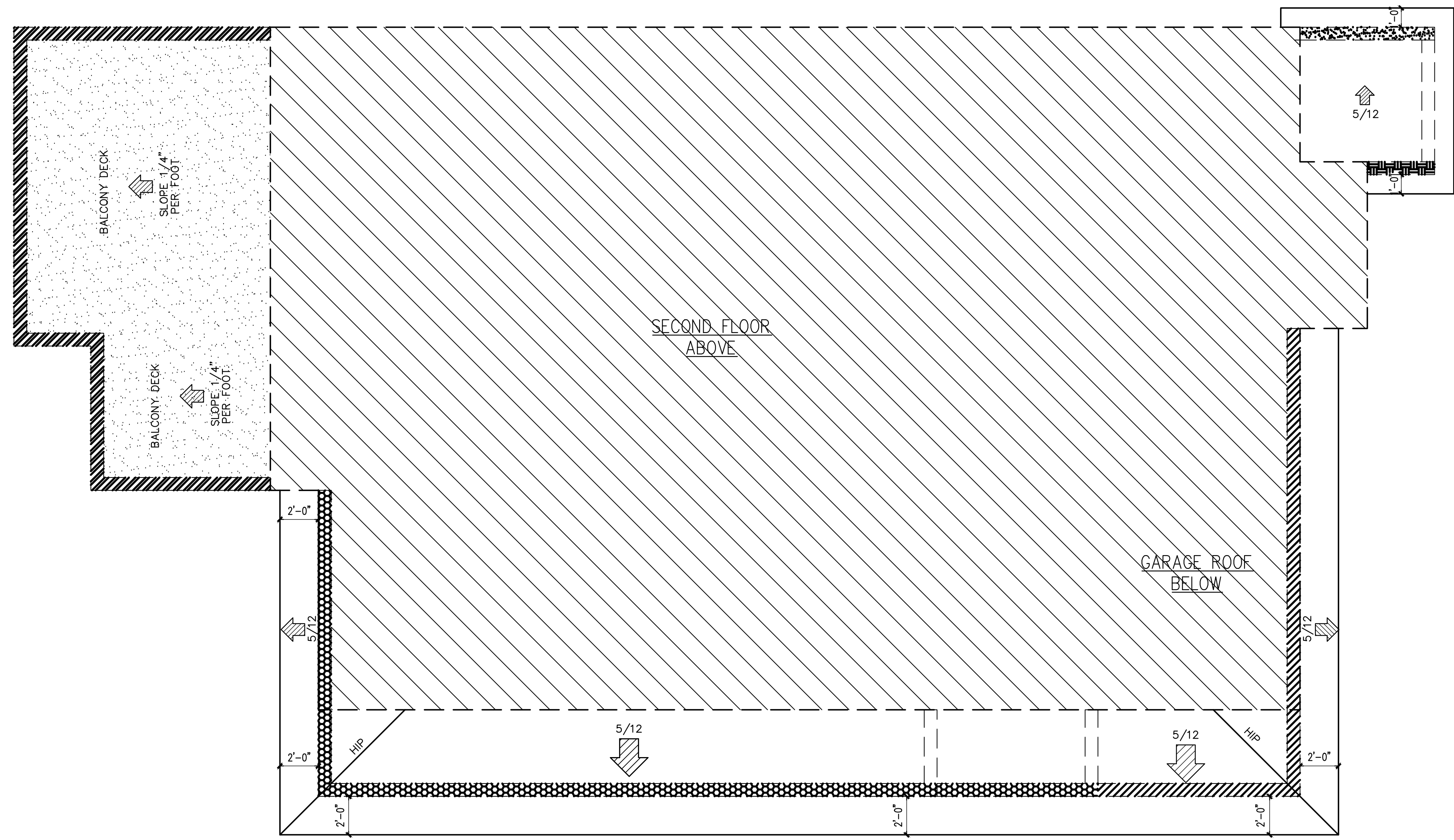


JOB: L22050  
DATE: 05.19.2020  
CAD REF: CD 100%

**SHEET  
A-13**

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**2nd FLOOR ROOF PLAN**

SCALE: 1/4" = 1'-0"

**BEARING HEIGHTS LEGEND**

	12'-0" FROM GARAGE, FIN. FL.
	11'-0" FROM 1ST. LIV. FIN. FL.
	12'-0" FROM 1ST. LIV. FIN. FL.
	13'-4" FROM 1ST. LIV. FIN. FL.
	14'-1" FROM 1ST. LIV. FIN. FL.
	24'-0" FROM 1ST. LIV. FIN. FL.
	25'-4" FROM 1ST. LIV. FIN. FL.

- ROOF NOTES**
- 1) PRE-ENGINEERED ROOF TRUSSES @ 24" O.C.
  - 2) TYPICAL 5/12 PITCH ROOF UNLESS NOTED OTHERWISE. (SEE MFG. TRUSS PLANS).
  - 3) 24" ROOF TRUSS OVERHANGS TYP. UNLESS NOTED OTHERWISE.
  - 4) COORDINATION OF CONSTRUCTION INCLUDING VERIFICATION OF DIMENSIONS AND FIELD CONDITIONS, IS THE RESPONSIBILITY OF THE CONTRACTOR. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGN FIRM PRIOR TO CONSTRUCTION.
  - 5) ROOF UNVENTED.
  - 6) ROOF PLAN FOR DESIGN PURPOSES ONLY. TRUSS MFG. TO SUBMIT ENGINEERED TRUSS DRAWINGS FOR APPROVAL.
  - 7) ALL BEARINGS TAKEN FROM FIN. FL. EL. 0'-0"

No: REVISIONS

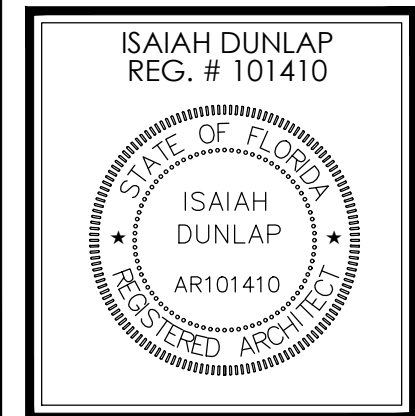
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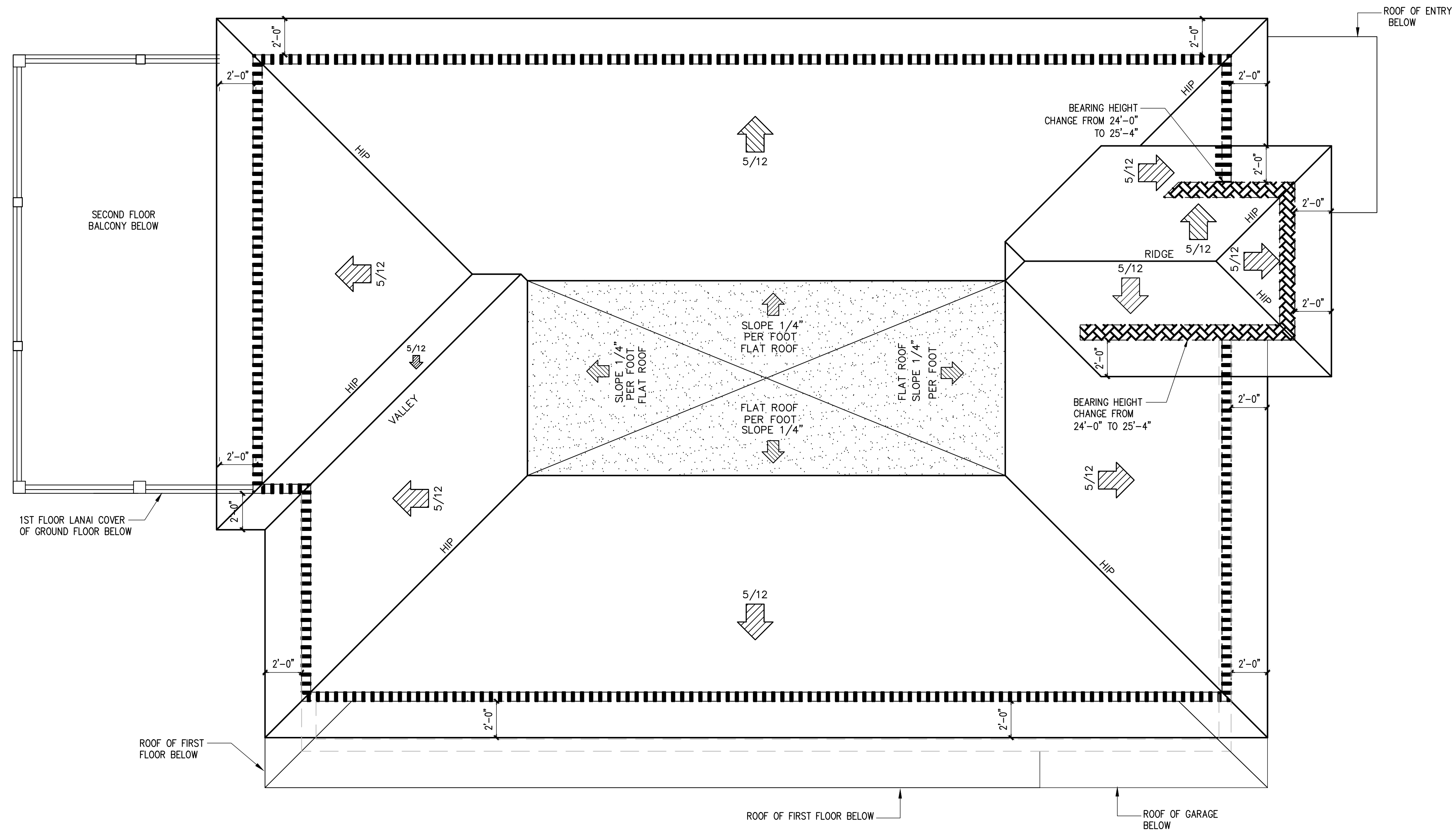
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JOB:	L22050
DATE:	05.19.2020
CAD REF:	CD 100%

**SHEET**  
**A-14**

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**3rd FLOOR ROOF PLAN**

SCALE: 1/4" = 1'-0"

BEARING HEIGHTS LEGEND	
	12'-0" FROM GARAGE, FIN. FL.
	11'-0" FROM 1ST. LIV. FIN. FL.
	12'-0" FROM 1ST. LIV. FIN. FL.
	13'-4" FROM 1ST. LIV. FIN. FL.
	14'-1" FROM 1ST. LIV. FIN. FL.
	24'-0" FROM 1ST. LIV. FIN. FL.
	25'-4" FROM 1ST. LIV. FIN. FL.

- ROOF NOTES**
- 1) PRE-ENGINEERED ROOF TRUSSES @ 24" O.C.
  - 2) TYPICAL 5/12 PITCH ROOF UNLESS NOTED OTHERWISE. (SEE MFG. TRUSS PLANS).
  - 3) 24" ROOF TRUSS OVERHANGS TYP. UNLESS NOTED OTHERWISE.
  - 4) COORDINATION OF CONSTRUCTION INCLUDING VERIFICATION OF DIMENSIONS AND FIELD CONDITIONS, IS THE RESPONSIBILITY OF THE CONTRACTOR. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGN FIRM PRIOR TO CONSTRUCTION.
  - 5) ROOF UNVENTED.
  - 6) ROOF PLAN FOR DESIGN PURPOSES ONLY. TRUSS MFG. TO SUBMIT ENGINEERED TRUSS DRAWINGS FOR APPROVAL.
  - 7) ALL BEARINGS TAKEN FROM FIN. FL. EL. 0'-0"

No.	REVISIONS
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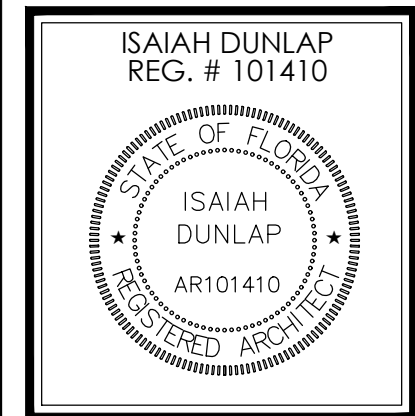
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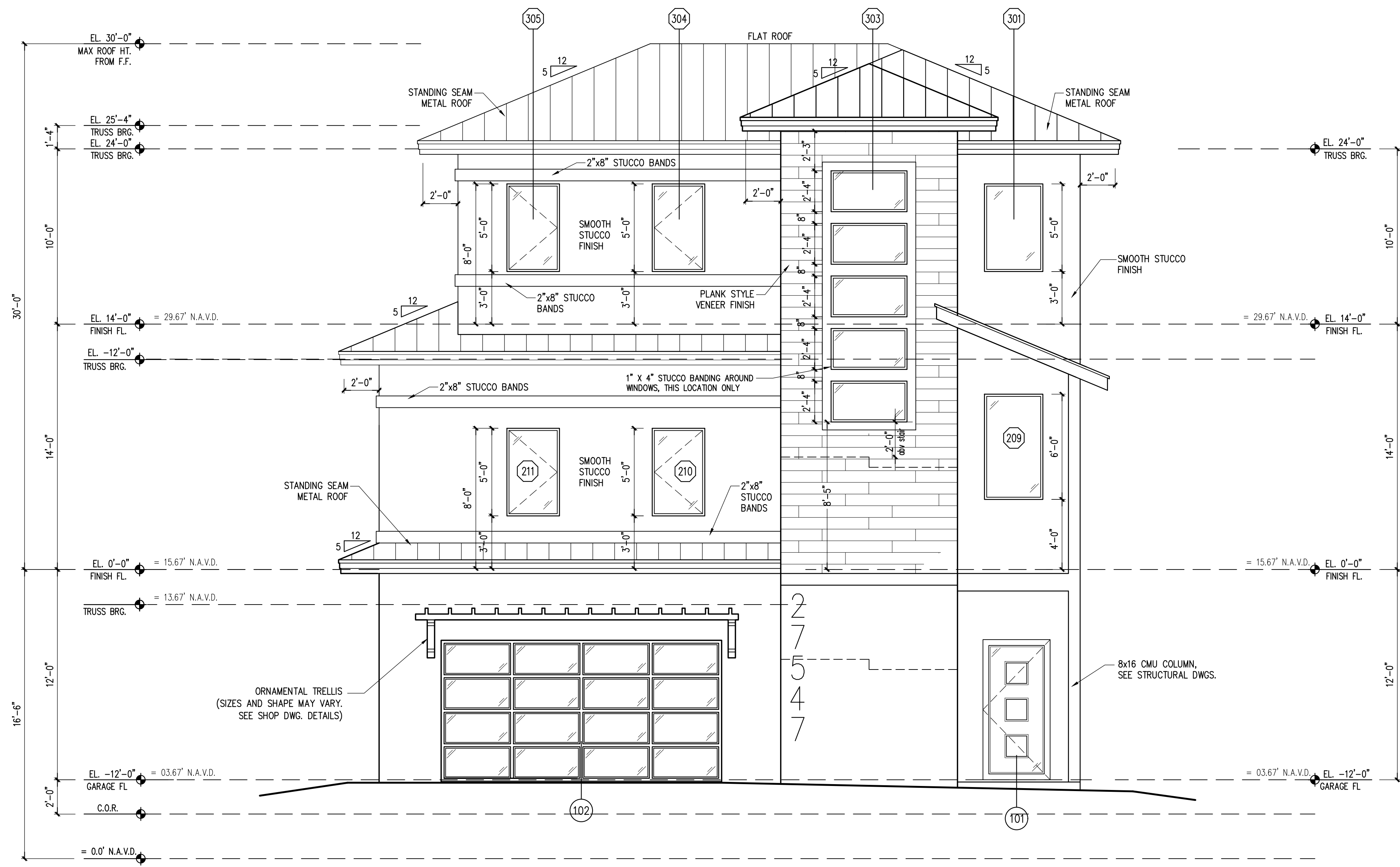


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 DATE: 05.19.2020  
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**A-14.1**

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**CONSTRUCTION/BID SET**  
**RELEASE DATE: 08.30.22**



**FRONT (EAST) ELEVATION**  
 SCALE: 1/4" = 1'-0"

**CONSTRUCTION/BID SET**  
**RELEASE DATE: 08.30.22**

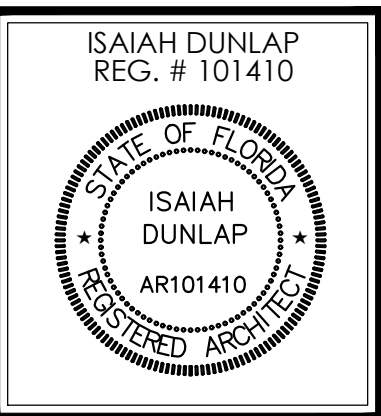
No.	REVISIONS
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DATE:	05.19.2020
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**A-15.0**

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**CONSTRUCTION/BID SET  
RELEASE DATE: 08.30.22**

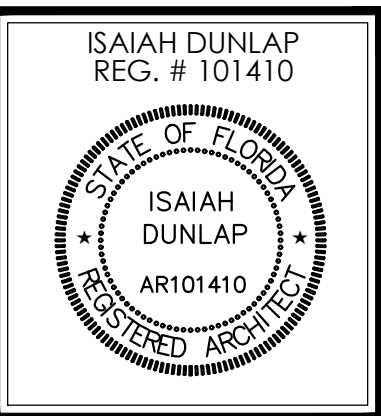
No.	REVISIONS
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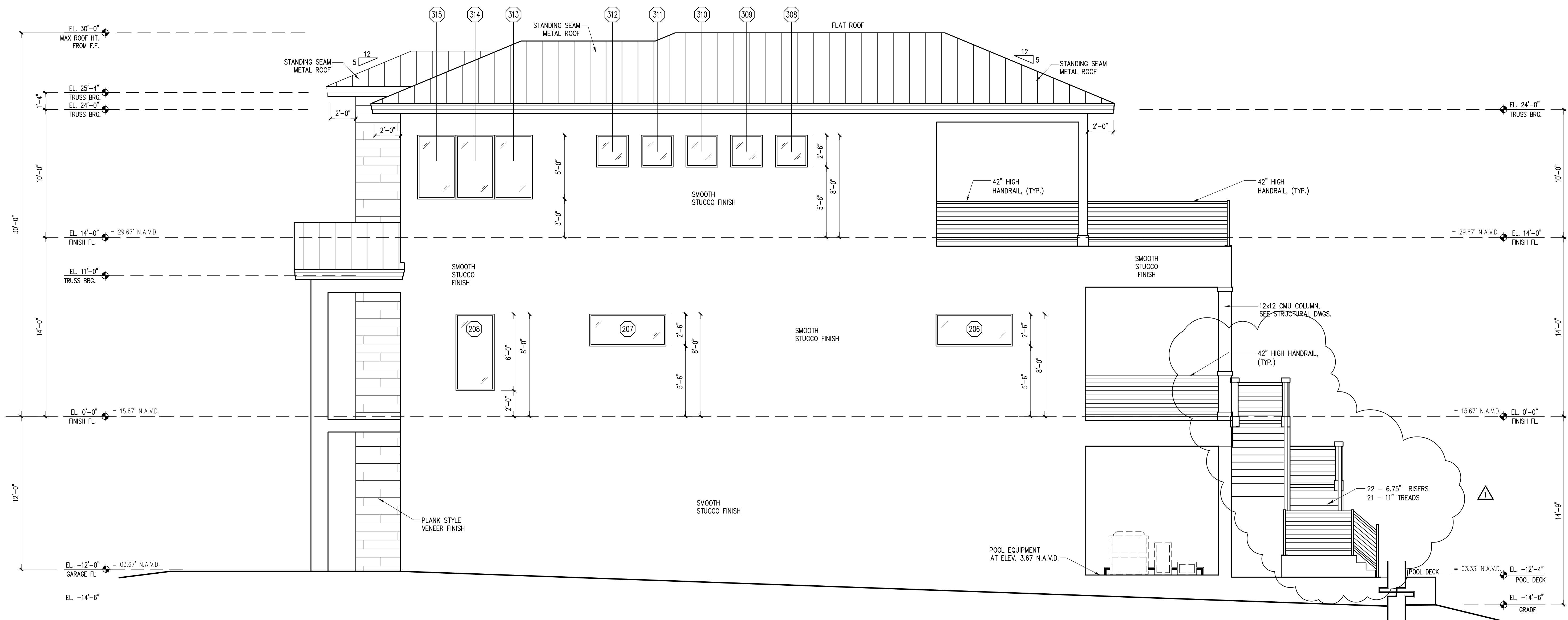
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A-15.1**



**REAR (WEST) ELEVATION**  
SCALE: 1/4" = 1'-0"

**CONSTRUCTION/BID SET  
RELEASE DATE: 08.30.22**

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1	07.21.2022 P.R. Comments
2	
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 REG. # 101410  
 STATE OF FLORIDA  
 REGISTERED ARCHITECT  
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**SHEET**  
**A-15.2**

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**CONSTRUCTION/BID SET**  
**RELEASE DATE: 08.30.22**

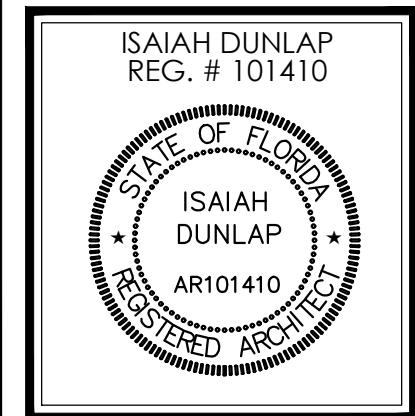
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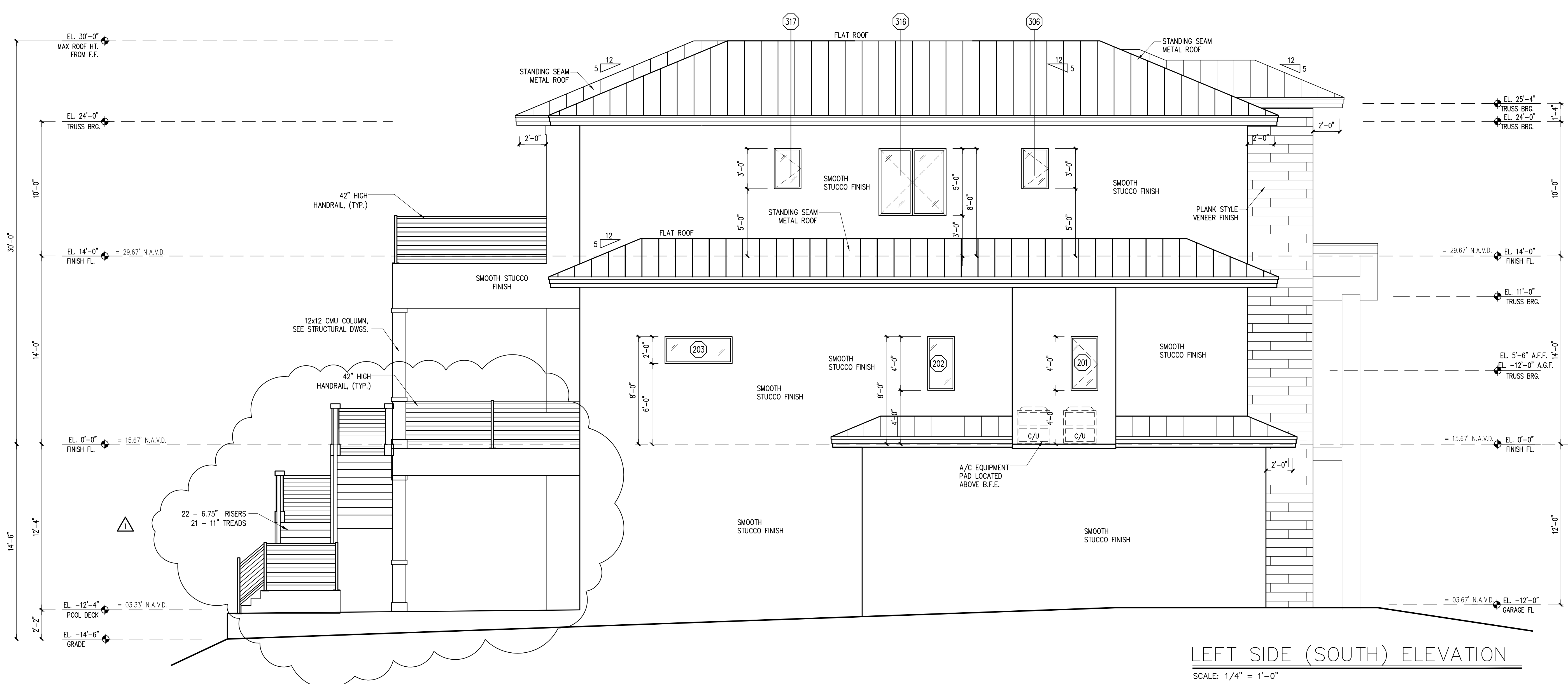
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**LEFT SIDE (SOUTH) ELEVATION**  
 SCALE: 1/4" = 1'-0"

**CONSTRUCTION/BID SET**  
**RELEASE DATE: 08.30.22**